



SHAKER HEIGHTS

Board of Zoning Appeals & City Planning Commission Agenda City Hall Council Chambers Tuesday, January 7, 2020, 7:00 PM

1. Roll Call.
2. Approval of Minutes from the December 3, 2019 meeting.

Documents:

[DRAFT BZACPC MINUTES 2019 1203.PDF](#)

#2025. TAPAS LOUNGE/BAR – 16704 CHAGRIN BOULEVARD:

Continuation of a Public Hearing on the request of Kenneth Gibson, Tapas Lounge/Bar, 16704 Chagrin Boulevard, to the Board of Zoning Appeals and City Planning Commission for a Conditional Use Permit for a lounge/bar and for a variance to the parking requirements. The applicant proposes to establish a lounge/bar in this former retail space. This case was continued at the July 2019 meeting for more information and in order for the applicant to apply for the Conditional Use Permit. The lounge/ bar is proposed as a similar use to the brew pub/wine bar conditional use category in the CM Commercial Mixed Use zoning district. The lounge/bar is the primary use with a kitchen and sit-down dining also provided. The applicant proposes hours of operation Monday through Thursday from 11 a.m. to 12 midnight and Friday and Saturday from 11 a.m. to 1 a.m., with peak hours projected from 9 p.m. to 1 a.m. on Friday and Saturday. A parking variance is required since the use requires 23 parking spaces by code, but has no on-site parking. A shared public parking lot serves the businesses behind the south side of Chagrin commercial area, and there is on-street parking on Chagrin Boulevard.

Documents:

[16704 CHAGRIN.PDF](#)

#2045. SHAKER REDO LLC - 3700-3704 LEE ROAD:

Public Hearing on the request of Nick Fedor, Shaker Heights Development Corporation, representing Shaker Redo LLC, 3700-3704 Lee Road, to the Board of Zoning Appeals and City Planning Commission for a Conditional Use Permit for a Local Sign District and a sign variance. The applicant proposes to utilize a blade sign, wall signs and window signs in order to provide signage for this commercial building at the corner of Lee and Nicholas Roads. A Local Sign District is required in order to utilize blade or projecting signs. There is one blade sign proposed on the Lee Road side of the building in order to identify businesses in this redesigned building. The blade sign is proposed to extend above the flat roof of the building. Code does not allow a sign to extend above the cornice line of a building. Council confirmation of a Conditional Use Permit is required.

Documents:

[3700-04 LEE.PDF](#)

#2046. SHAKER LAKES NATURE CENTER - 2600 SOUTH PARK BOULEVARD:

Public Hearing on the request of Jodi McCue, Environmental Design Group, on behalf of the Nature Center at Shaker Lakes, 2600 South Park Boulevard, to the City Planning Commission for improvements to public land in order to replace the Stearn's Trail. The Nature Center is reconstructing the trail with essentially the same layout. This includes sections of wood boardwalk, bridges, benches, platforms and a tree house. A new trail entry feature is proposed in the Nature Center parking lot as well as new entries at both South Park and West Park Boulevards. The two West Park entries will be connected with a 3 foot wide mulch path that extends to the Shaker Boulevard sidewalk. Council approval of improvements to public land is required.

Documents:

[2600 SOUTH PARK.PDF](#)

To request an accommodation for a person with disability, call the City's ADA Coordinator at 216-491-1440, or Ohio Relay Service at 711 for TTY users.

Applicant's Name: Kenneth Gibson SR Application No: 2025
 Property Address: 16704 Chagrin Blvd Parcel No: _____
 City: Shaker Hts State: OHIO Zip: 44120

Applicant's Address: 3517 Antisdale Ave Phone No: 216513-6278
 City: Cleveland State: OH Zip: 44118

Property Owner (if other than applicant) Glyptis Family Trust Properties
 Property Owner's Address (if different) 6043 Lyndhurst - Catalano DR.
 City: Lyndhurst State: OHIO Zip: 44124

Zoning District: _____ Present Use: Former Clothing Store
 Proposed Use: Restaurant/Bar/Lounge

E-Mail Address: wgibsonsr@yahoo.com

- CHECK INFORMATION ACCOMPANYING THIS APPLICATION
- Site Plan (to scale)
 - Detail Drawings
 - Landscape Plan
 - Narrative Description
 - Proof of Control (Option Lease Ownership)
 - Product Information, etc.
 - Other Descriptions or Materials as Appropriate
 - Photographs

CHECK SPECIFIC ACTION REQUIRED

- | | |
|---|---|
| <p>BZA <u>Parking</u></p> <p>1. VARIANCE (requires public hearing)</p> <p>Sign regulations Fence Regulations
 Height Regulations Off-street Parking
 Area and Yard Regulations</p> <p>2. OTHER APPROVALS</p> <p><input type="checkbox"/> Appeal
 <input type="checkbox"/> Other: _____</p> | <p>CPC</p> <p><input checked="" type="checkbox"/> Conditional Use Permit (requires public hearing)</p> <p><input type="checkbox"/> Planned Unit Development
 <input type="checkbox"/> Site Plan Review
 <input type="checkbox"/> Resubdivision of Land
 <input type="checkbox"/> Amendment to Zoning Map or Ordinance
 <input type="checkbox"/> Improvements to Public Land
 <input type="checkbox"/> Other: _____</p> |
|---|---|

Summarize special conditions, practical difficulty or hardships imposed on the owner of the premises if strict letter of the ordinance were to be enforced:

There is plenty of parking its just a matter if we are allowed to continue the project, no parking variance or change of use we move on!

To the best of my knowledge, the foregoing statements in this application are true and correct.

SIGNATURE: Kenneth Gibson SR DATE: 11.21.19



SHAKER HEIGHTS

NOTICE OF CONTINUATION OF PUBLIC HEARING

Notice is hereby given that continuation of an application is being made by Kenneth Gibson, Tapas Lounge/Bar, 16704 Chagrin Boulevard, to the Board of Zoning Appeals and City Planning Commission for a Conditional Use Permit for a lounge/bar and for a variance to the parking requirements. The applicant proposes to establish a lounge/bar in this former retail space. This case was continued at the July 2019 meeting for more information and in order for the applicant to apply for the Conditional Use Permit. The lounge/ bar is proposed as a similar use to the brew pub/wine bar conditional use category in the CM Commercial Mixed Use zoning district. The lounge/bar is the primary use with a kitchen and some sit-down dining also provided. The applicant proposes hours of operation Monday through Thursday from 11 a.m. to 12 midnight and Friday and Saturday from 11 a.m. to 1 a.m., with peak hours projected from 9 p.m. to 1 a.m. on Friday and Saturday. A parking variance is required since the use requires 23 parking spaces by code, but has no on-site parking. A shared public parking lot serves the businesses behind the south side of Chagrin commercial area, and there is on-street parking on Chagrin Boulevard.

The Board of Zoning Appeals and City Planning Commission will hold a Public Hearing on said application on **Tuesday, January 7, 2020 at 7:00 p.m.** in the Council Chamber of City Hall, 3400 Lee Road, Shaker Heights, Ohio. Interested parties may appear at the Public Hearing and be heard with respect to this application.

Plans are available for public review in the Planning Department during City Hall hours, and online at <https://www.shakeronline.com/AgendaCenter>. Online plans and information are posted the Friday before the meeting date.

Dan Feinstein
Secretary
Board of Zoning Appeals
City Planning Commission

To request an accommodation for a person with disability, call the City's ADA Coordinator at 216/491-1440, or Ohio Relay Service at 711 for TTY users.

**The City of Shaker Heights
Board of Zoning Appeals and City Planning Commission**

STAFF REPORT

ADDRESS:

16704 Chagrin Boulevard
Tapas Lounge/Bar
Case#: 2025

HEARING DATE:

January 7, 2020

SUMMARY:

Continuation of the request for a parking variance for a bar/lounge at this former retail store space, which requires 23 parking spaces and no spaces are provided, and review of a Conditional Use Permit in order to establish a use similar to a wine bar/brew pub.

STAFF POSITION:

- Staff suggests denial of the Conditional Use Permit based on the following issues:
 - Conditional Use Permit (denial)
 - The applicant has not supplied any information relative to how this Conditional Use Permit request is similar to a wine bar/brew pub.
 - None of the Conditional Use Permit standards have been addressed. (Section 1213.05 H)
 - There is no description of how this use is in keeping with the land use policy or ordinance purposes of the CM Commercial Mixed Use District. (Section 1234)
 - There is no explanation of how the use will avoid nuisance, undue adverse impact or interference with surrounding development.
 - The property and rear parking lot are adjacent to single and two-family residential homes.
 - No information has been submitted relative to an operational plan or maximum or expected occupancy of patrons.
 - Patron policies have not been submitted.
 - Security plan has not been submitted.
 - The applicant contends that the primary use is a restaurant and does not require a Conditional Use Permit.
 - The applicant has not formally filed an appeal to the Board of Zoning Appeals of the Zoning Administrator's determination that the primary use is a lounge/bar.
 - Parking (denial)
 - No information has been submitted for current on-street or public parking lot counts, peak hour, and peak weekend hours usage.
 - The floor plan does not accurately show the existing floor plan, bar size, and seating arrangement on a to-scale drawing. The capacity (maximum occupants) of the space is not provided.
- Staff suggests denial of the parking variance because it is moot, based on the staff suggestion of denial for the Conditional Use Permit with the following issues:

ACTION:

- A Conditional Use Permit for a use similar to a wine bar/brew pub.
- A parking variance for 23 required parking spaces where no spaces exist on the property.

FACTS:

1. The applicant proposes a lounge/bar in this former retail store space on the south side of Chagrin Boulevard. Both a Conditional Use Permit for the use and a parking variance are required.

**The City of Shaker Heights
Board of Zoning Appeals and City Planning Commission**

STAFF REPORT

Continued:

ADDRESS:

16704 Chagrin Boulevard
Tapas Lounge/Bar
Case#: 2025

HEARING DATE:

January 7, 2020

FACTS (continued):

2. The parking variance request was continued at the July 7, 2019 meeting. See the attached minutes. Actions required from the applicant at that meeting were:
 - a. Parking information including peak time, number of spaces and comparison to similar uses and public lot usage. **(Additional information of projected peak parking and similar uses has been submitted);**
 - b. A revised floor plan reflecting the existing condition and seat counts—**The floor plan has been altered but not revised to-scale. (A hand sketched seating plan has been submitted);** and
 - c. Application for a Conditional Use Permit for a lounge/bar so it can be considered at the same time as the parking variance. **(The application shows a Conditional Use Permit as being requested. No additional information has been submitted.)**
3. A lounge/bar is the primary use of the business. See the Zoning Administrator's June 2019 letter. A lounge/bar is not a listed permitted or conditional use in the CM Commercial Mixed Use zoning district, but is being proposed as similar to a brew pub/wine bar.
4. The proposed lounge/bar requires the same parking standards as a take-out restaurant because take-out food service is proposed. This equals 23 parking spaces for this use taking into consideration the 2 on-street spaces adjacent to this space.
5. A shared public parking lot of 125 spaces serves the businesses behind the south side of Chagrin commercial area. Of those, 87 are directly accessible to this space west of the cut-through street. (Winslow Court). There are 40 on-street spaces on the block.
6. The applicant proposes a lounge/bar, which serves cocktails and other alcoholic beverages and has a kitchen with a limited menu of eat-in and take-out items.
7. The hours of operation are Monday through Thursday 11:00 a.m. to 12:00 a.m., Friday and Saturday 11:00 a.m. to 1:00 a.m. Peak occupancy is predicted between 9:00 p.m. and 1:00 a.m. on Friday and Saturday.

CODE SECTIONS:

1. 1213.04 E – Variance standards include physical surroundings, uniqueness, detriment to public welfare, the essential welfare of the neighborhood for practical difficulty and hardship reasons.
2. 1234.03 W – A Conditional Use Permit is required for a wine bar/brew pub.
3. 1234.03 Y – Similar uses approved by the City Planning Commission and City Council.
4. 1251.02 – A lounge/bar requires 1 parking space per 80 square feet of gross floor area as similar to a take-out restaurant. 25 parking spaces in this instance.
5. 1251.03 – On-street parking spaces abutting the lot are subtracted from the number of required spaces. Two on-street spaces on Chagrin Boulevard are contiguous so are subtracted. 23 parking spaces are required.
6. 1213.05 H – Conditional Use standards include criteria on ordinance purposes, nuisance or noise, adverse impact, interference with surrounding development, adequate public facilities, and traffic congestion.

**The City of Shaker Heights
Board of Zoning Appeals and City Planning Commission**

STAFF REPORT

**Continued:
ADDRESS:**

16704 Chagrin Boulevard
Tapas Lounge/Bar
Case#: 2025

HEARING DATE:

January 7, 2020

OTHER ISSUES:

Conditional Use Permit

1. The property backs up to homes on Kenyon Road.
2. The submitted floor plan is not drawn to scale. While it may represent the number of seats, it does not show the bar size, location, and layout as built.
3. Much of the space has already been constructed. A portion of the work was done without a permit and much of the work was done on an erroneous permit, which was issued by the Building Department without prior zoning review. Currently, there is a stop-work order on the property.

Parking Variance

1. 25 parking spaces are required for the 2,030 square foot space. There are 2 on-street parking spaces directly in front of the property, which count as their only spaces.
2. The shared public parking in the rear lot has 87 parking spaces in the immediate area of this property, with more on the eastern half of the parking lot, totaling 125 parking spaces.
3. The applicant states that 4 employees will park in the rear of the public parking lot.
4. A retail tenant in this space would require 10 parking spaces.
5. The retail parking requirement is grandfathered as part of the existing rear public parking lot. A restaurant use requires more parking than retail uses, therefore a variance is required.
6. The applicant estimates 36 to 60 parking spaces will be needed at peak times between 9 p.m. and 1 a.m. on weekend evenings.
7. Touch of Italy, which uses the other end of the parking lot, is an existing restaurant with similar hours and parking requirements.
8. No counts of existing parking usage and peak hours of usage of the shared parking lot have been submitted.

PRECEDENT:

Conditional Use Permit:

1. Craft Collective – 3449 Tuttle – A brew pub located in the Market Hall of the Van Aken District, in tenant space purposely built for a brew pub.
2. Van Aken BC LLC – 3386 Tuttle – A second floor indoor/outdoor cocktail bar that serves the first floor restaurant in a space designed to be the accessory cocktail bar of a first floor restaurant tenant. The use was approved with an extensive list of conditions including compliance with noise ordinances, patron policy and security plan documents, no pattern of criminal activity, and review after 6 months of operation. From the June 2019 Meeting:

Decision:

Approved with the following conditions:

1. Hours of operation do not exceed Monday through Thursday 11:00 a.m. to 1:00 a.m., Friday and Saturday 11:00 a.m. to 2:00 a.m., and Sunday 12:00 p.m. to 11:00 p.m.;
2. Subject to a continuing obligation to comply with the City's noise ordinance;
3. To remain in full compliance with state liquor permit requirements;
4. To provide to the City and comply with their own patron policies;

**The City of Shaker Heights
Board of Zoning Appeals and City Planning Commission**

STAFF REPORT

Continued:

ADDRESS:

16704 Chagrin Boulevard

Tapas Lounge/Bar

Case#: 2025

HEARING DATE:

January 7, 2020

PRECEDENT (continued):

5. To provide to the City for approval and comply with the security plan;
6. Remain free from a pattern of criminal activity, including but not limited to charges under the Criminal Activity Ordinance Chapter 109; and
7. Subject to a review after six months of operation.

Parking:

1. Swerve Grille – 20126 Chagrin – Parking variance to expand a restaurant – case continued and withdrawn.
2. Master Marr’s Tae-Kwon Do – 16706 Chagrin – Conditional Use Permit and parking variance for a specialized instructional school.
3. Tae Kwon Do America – Conditional Use Permit and parking variance for martial arts school on the south side of Chagrin Boulevard.
4. Studio J. Academy of Dance – 20820 Chagrin Boulevard – Conditional Use Permit for a dance academy and a parking variance in the CM Commercial Mixed Use district.
5. WillCare – 16828 Chagrin – parking variance and Conditional Use Permit for a specialized instructional school using the same public parking lot.
6. Walgreen’s – Shaker Plaza – Parking variance to reduce the number of parking spaces in a shared parking lot below the code required number of spaces.
7. High Energy Café – Shaker Plaza – Parking variance for a restaurant in a shared parking lot.
8. Pizza Pan – Kingsbury Building – Parking variance in a shared parking lot.

Mr. Feinstein explained that revised dimensions of the tenant space were submitted which calculated a reduced parking count of 25 required spaces. An additional 2 parking spaces are deducted for the on-street parking spaces in front of the business. This changes the 25 required parking spaces to 23 spaces.

Mr. Gibson indicated that he would like to start a restaurant business at 16704 Chagrin Boulevard. This space was originally a clothing store. He got permits in January in order to renovate this space for a restaurant/lounge/bar. In regard to parking, there are 108 parking spaces on Chagrin and many more within the rear parking lot, which are accessible directly behind the tenant space. The only other business open late is at the other end of this strip of businesses, which is Touch of Italy. That business is approximately 500 feet away. There are about 32 parking spaces in close proximity to the space he has leased.

Dr. Ganning asked why a permit was issued.

Mr. Feinstein responded that a permit was erroneously issued by the Building Department for interior renovation, without completing zoning review.

Mr. Boyle asked why the applicant had not applied for a Conditional Use Permit.

Mr. Gibson indicated he did not submit the required information. He submitted revised plans and got a permit and work has been done, with money spent. On April 24 there was a Stop Work Order issued. There was an obvious error by the City allowing his contractor to begin work. He finally made application to the City for the parking variance and the change of use. All he needs to do is cross off the box for Conditional Use Permit on the application. This application was not considered complete enough for a Conditional Use Permit.

Mr. Feinstein explained additional information was needed. The submitted application did not include anything about a Conditional Use Permit. There was no explanation of how the proposed use is similar to any allowable or conditional uses in this zoning district. There was no explanation of the standards of the Conditional Use Permit submitted.

Mr. Boyle indicated that the Conditional Use Permit is required along with the parking variance in order to open. Those two applications should be considered together at another meeting.

Mr. Gruber asked if the applicant had received the letter dated June 6, sent by Mr. Feinstein, to him, his architect, and his attorney regarding the parking variance. Had he received the subsequent letter dated June 14 that indicated the applicant needed to apply for a Conditional Use Permit as well?

Mr. Gibson said he had received the letters, but was not clear that he needed to apply for a Conditional Use Permit. He knew he needed to apply for a parking variance. He asked the difference between the parking variance and the Conditional Use Permit.

Mr. Feinstein explained the parking variance request is for the number of parking spaces required for a bar/lounge, which is the same required for a take-out restaurant. A Conditional Use Permit is about the type of use being proposed for a commercial space. In order to propose a bar/lounge use he would need to argue that it is similar to a brew pub or wine bar.

Mr. Zimmerman asked if the city-owned parking lot spaces are available for anyone to use. Is there any license agreement or requirements, or set-aside spaces for any particular uses in that parking lot?

Mr. Gruber answered that all of the spaces are public, open and free to use. There is no license required.

Mr. Zimmerman said the zoning variance is due to the lack of on-site parking, but there is a public parking lot behind and on-street parking in front.

Mr. Zimmerman opened the Public Hearing. No one was present to speak in regard to this application.

Dr. Ganning indicated that when considering the parking variance as presented, some information has been given but not as much as is needed. She would like to know a comparison of the proposed use and the types of peak hours. When will peak parking be needed? What other uses are nearby, and their hours of operation?

Mr. Gibson said the business will be open Monday through Thursday from 11:00 a.m. to 10:00 p.m. The kitchen will close at 9:00 p.m. On Friday and Saturday they will be open from 11:00 a.m. to 2:00 a.m. with the kitchen closing at 1:00 a.m. He expects peak hours to be between 2 and 5 p.m. with 25 parking spaces needed. He expects another peak from 5 to 9 p.m. with 26 parking spaces needed. Later in the evening, between 9:00 p.m. and 2:00 a.m. they will need 25 spaces in the rear and use much of the front parking spaces as most of the nearby tenants will be closed for business. He thinks the only other business open after 9:00 p.m. is Touch of Italy, which is 500 feet away on the east side of this shopping strip. He expected they might need up to 62 parking spaces all together after 9:00 p.m.

Mr. Gruber indicated the Board typically gets information about hours of operation and existing parking demand for other businesses that are nearby and therefore is able to assess any parking situation.

Mr. Boyle asked if there was a liquor permit for the business as of yet.

Mr. Gibson said there would be. He added there will be additional space for take-out orders.

Mr. Boyle said there appears to be approximately 40 seats with 22 seats at the bar.

Mr. Gibson indicated the number of seats in each area. He said there will be 6 tables in front, a jukebox for music, and some live music on weekend evenings.

Mr. Boyle said in general he does not have too much of an issue with the parking spaces that are available and the request for a parking variance, but it does not seem appropriate to be considering a portion of an application and not the entire request. He asked if staff would explain the reason for their suggestion of a continuance.

Mr. Feinstein said staff feels it is appropriate for the Board to address both a Conditional Use Permit request and the parking variance at the same time, in order to make an appropriate consideration of the application for the proposed use.

Mr. Zimmerman said it is the right of the City to require, and the applicant to provide, the required information in order for the Board to consider both applications regarding the same business at the same time. Substantive questions have been asked that need to be addressed by the applicant. He suggests that the request be continued until such time as an entire package of information is submitted for the Conditional Use Permit request and parking variance to allow review at the same time.

Dr. Ganning said there is more information needed regarding parking as well as documentation of the other nearby businesses hours of operation, as well as the current usage patterns of the existing parking lot. She agreed that the case should be continued.

Mr. Zimmerman said the applicant should reapply with additional information so that this can be reviewed at the next meeting for consideration of both the Conditional Use Permit and the parking variance.

The request was continued based on the following issues:

- The Board requested more information to support a parking variance in the available public parking lot.
 - Provide information on peak parking demand time frame, number of spaces, and a comparison to nearby business's hours and usage of the shared public parking.
- A revised floor and seating plan must be submitted because the floor plan does not match the partially constructed space, as the bar is larger than drawn on the plans.
 - In addition, the number of seats, now 55, has been revised but not indicated by removing some high top wall ledge seating. An updated seat count must be provided with the revised plans.
- The Zoning Administrator has previously advised the Applicant in writing that, based on the information presented by Applicant and available through review of the site and the plans, the proposed business would be a bar use similar to a wine bar. This means that the business may not open without zoning approval of both a parking variance and a Conditional Use Permit.
 - Applicant has not appealed to the Board of Zoning Appeals from this decision of the Zoning Administrator
 - The Conditional Use Permit and the parking variance should be considered at the same time.
 - In order to apply for a conditional use permit the applicant will be required to submit:
 1. Amended application to include the request for a conditional use permit;
 2. Letter of request and explanation of how the proposed use is similar to the listed wine bar or brewpub uses; and
 3. Letter addressing the standards for conditional use permits.

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SHAKER HEIGHTS

April 24, 2019

Ken Gibson
3517 Antisdale Road
Cleveland Heights, OH 44118

RE: Tapas Restaurant, 16704 Chagrin Boulevard

Dear Mr. Gibson,

I have reviewed the plans for the proposed Tapas Restaurant at 16704 Chagrin Boulevard for zoning compliance. I cannot approve the plans for zoning due to the following reasons:

- The number of required parking spaces
- Determination of the principle use of the proposed business.

There is no onsite parking for this building. All parking is in the shared public parking lot in the rear. Section 1251.02 of the parking regulations in the Zoning Code addresses changes to uses so that when a more intense use is proposed, the parking space requirements need to be brought up to meet code requirements for that more intense use. The change of use in this space from a retail store use to the restaurant/lounge/bar use intensifies the parking space requirement for that tenant space. Since the use has been intensified, Section 1251.02 is applicable and the parking requirements of Table 1251.02 are applicable. A parking variance needs to be applied for from the Board of Zoning Appeals.

The principle use of this business needs to be determined. I need the following information in order to complete my zoning review:

- Proposed business plan including hours of operation, employee number and types, menu, food service, table service, kitchen hours vs bar hours, live or recorded music proposed schedule.
- Projected sales in dollars or percentage of the restaurant, lounge and bar and food vs alcohol.
- Additional floor plan details including the number of high top/bar seats and regular table seats, square footage of the bar/lounge area and the table service seating area.

If there are any questions, please contact me at (216) 491-1435. Thank you for your cooperation in this matter.

Sincerely,

A handwritten signature in black ink that reads "Dan Feinstein". The signature is written in a cursive, slightly slanted style.

Dan Feinstein
Senior Planner
Zoning Administrator

Cc: Daryl Mapson, Tribe Architects
Kyle Krewson, Building Department Director
Paul Konys, Building Commissioner
Joyce Braverman, Planning Director
William M. O. Gruber, Law Director



SHAKER HEIGHTS

June 6, 2019

Ken Gibson
3517 Antisdale Road
Cleveland Heights, OH 44118

RE: Tapas Restaurant/Lounge/Bar, 16704 Chagrin Boulevard

Dear Mr. Gibson,

Thank you for submitting the information pertaining to the plans for the proposed Tapas Restaurant/Lounge/Bar at 16704 Chagrin Boulevard for zoning compliance. I have reviewed the plans and information submitted and make the following determinations:

- The principle use of the proposed business is determined to be bar/lounge. A bar/lounge is not a listed permitted or conditional use in Chapter 1234 of the City's Zoning Code for a property in the CM Commercial Mixed Use zoning district. Thus, you must apply for a Conditional Use Permit per Section 1213.05 of the City's Zoning Code, which is reviewed by the City Planning Commission and Council. You would need to apply as a "use similar to" the listed conditional uses of wine bar or brew pub in Section 1234.03.
- The parking requirements for a bar/lounge are the same as for a carry-out restaurant as determined by the Zoning Administrator per Chapter 1251. This requirement is 1 parking space per 80 square feet of gross floor area, which equals 26 parking spaces in this case.
- There is no onsite parking for this building. All parking is in the shared public parking lot in the rear. Section 1251.02 of the parking regulations in the Zoning Code addresses changes to uses so that when a more intense use is proposed, the parking space requirements need to be brought up to meet code requirements for that more intense use. The change of use in this space from a retail store use to the bar/lounge use requires additional parking. Since the use has been intensified, Section 1251.02 is applicable and the parking requirements of Table 1251.02 are applicable. You will need to apply for a parking variance from the Board of Zoning Appeals.

I have included the application materials for the Board of Zoning Appeals and City Planning Commission

If there are any questions, please contact me at (216) 491-1435. Thank you for your cooperation in this matter.

Sincerely,

A handwritten signature in black ink that reads "Dan Feinstein". The signature is written in a cursive style with a large, sweeping "D" and a distinct "F".

Dan Feinstein
Senior Planner
Zoning Administrator

Cc: Richard Eisenberg
Daryl Mapson, Tribe Architects
Kyle Krewson, Building Department Director
Paul Konys, Building Commissioner
Joyce Braverman, Planning Director
William M. O. Gruber, Law Director



June 26, 2019

Ken Gibson
3517 Antisdale Road
Cleveland Heights, OH 44118

RE: Tapas Restaurant/Lounge/Bar, 16704 Chagrin Boulevard

Dear Mr. Gibson,

Thank you for submitting the required information regarding your application for a parking variance for the proposed Tapas Restaurant/Lounge/Bar at 16704 Chagrin Boulevard. I have reviewed the additional information submitted and have placed the request for a parking variance on the agenda for the July 2, 2019 Board of Zoning Appeals meeting.

While you have applied for a parking variance, you have not applied for a Conditional Use Permit that is also required to establish a lounge/bar use at this property. The zoning code permits restaurants, but does not permit a bar without a conditional use permit. You need both a parking variance and a Conditional Use Permit in order to gain zoning approval of your proposed use. You will **not be allowed** to open or operate your proposed business without approval of both the parking variance and the Conditional Use Permit. I outlined this requirement in my June 6, 2019 letter to you. See an excerpt of that here:

“The principle use of the proposed business is determined to be bar/lounge. A bar/lounge is not a listed permitted or conditional use in Chapter 1234 of the City’s Zoning Code for a property in the CM Commercial Mixed Use zoning district. Thus, you must apply for a Conditional Use Permit per Section 1213.05 of the City’s Zoning Code, which is reviewed by the City Planning Commission and Council. You would need to apply as a “use similar to” the listed conditional uses of wine bar or brew pub in Section 1234.03.”

Another option is that you can appeal the determination of the Zoning Administrator as stated in the June 6, 2019 letter regarding the lounge/bar use. You file an appeal by applying to the Board of Zoning Appeals for an appeal of the determination by the Zoning Administrator per Section 1213.02 Appeals in the City’s Codified Ordinances. An appeal of the Zoning Administrator’s determination is a separate request from the parking variance request. The next open meeting is August 6, 2019.

I have included the application materials for the August 6, 2019 Board of Zoning Appeals and City Planning Commission which has a submission deadline of July 19, 2019. If there are any questions, please contact me at (216) 491-1435. Thank you for your cooperation in this matter.

Sincerely,

A handwritten signature in black ink that reads "Dan Feinstein". The signature is written in a cursive style with a large initial "D" and "F".

Dan Feinstein
Senior Planner
Zoning Administrator

Cc: Richard Eisenberg
Daryl Mapson, Tribe Architects
Kyle Krewson, Building Department Director
Paul Konys, Building Commissioner
Joyce Braverman, Planning Director
William M. O. Gruber, Law Director



SHAKER HEIGHTS

July 9, 2019

Ken Gibson
3517 Antisdale Road
Cleveland Heights, OH 44118

RE: Tapas Restaurant/Lounge/Bar, 16704 Chagrin Boulevard

Dear Mr. Gibson,

The purpose of this letter is to follow up from the Board of Zoning Appeals meeting on July 2, 2019 regarding your request for a parking variance at 16704 Chagrin Boulevard, Case #2025. The deadline to submit materials to be on the August meeting agenda is July 19, 2019 at 5:00 p.m. The Board of Zoning Appeals continued your case for the following reasons:

- The Board requested more information to support a parking variance in the available public parking lot.
 - You will need to provide information on the peak parking demand time frame, number of spaces, and a comparison to nearby business's hours and data on the available spaces in the shared public parking.
- A revised floor and seating plan must be submitted because the floor plan does not match the partially constructed space, as the bar is larger than drawn on the plans.
 - In addition, the number of seats, now 55, has been revised but not indicated by removing some high top wall ledge seating. An updated seat count must be provided with the revised plans.
- I have previously advised you in writing that, based on the information presented by you and available through review of the site and the plans, the proposed business would be a bar use similar to a brew pub or wine bar. This means that the business may not open without zoning approval of both a parking variance and a Conditional Use Permit. You have not appealed my decision. The Board agreed that the Conditional Use Permit and the parking variance should be considered at the same time.
- In order to apply for a conditional use permit you must submit all of the following:
 1. Amended application to include the request for a Conditional Use Permit;
 2. Letter of request and explanation of how the proposed use is similar to the listed wine bar or brewpub uses; and
 3. Letter addressing the standards for Conditional Use Permits.

The City's Zoning Code permits restaurants, but does not permit a bar without a Conditional Use Permit. You need both a parking variance and a Conditional Use Permit in order to gain zoning approval of your proposed use. I outlined this requirement in my June 6, 2019 letter to you. See an excerpt of that below:

“The principle use of the proposed business is determined to be bar/lounge. A bar/lounge is not a listed permitted or conditional use in Chapter 1234 of the City’s Zoning Code for a property in the CM Commercial Mixed Use zoning district. Thus, you must apply for a Conditional Use Permit per Section 1213.05 of the City’s Zoning Code, which is reviewed by the City Planning Commission and Council. You would need to apply as a “use similar to” the listed conditional uses of wine bar or brew pub in Section 1234.03.”

Your request for a Conditional Use Permit must explain how the proposed use, which is a use similar to a brew pub or wine bar, meets the Zoning Code’s Conditional Use Standards.

You also have the right to appeal my determination, as stated in the June 6, 2019 letter, to the City’s Board of Zoning Appeals. To file an appeal, you must submit an application to the Planning Department, per Section 1213.02 of the City’s Codified Ordinances. An appeal of the Zoning Administrator’s determination is a separate request from the parking variance request or a Conditional Use Permit application.

Please note that, in order to return to the Board of Zoning Appeals/City Planning Commission meeting in August, you need to submit the additional information as outlined above, including an application for a Conditional Use Permit that meets the standards in Section 1213.05, with an explanation as to how your business will be similar to a brew pub or wine bar. The deadline to submit your completed materials is Friday, July 19, 2019 by 5:00 p.m.

The meeting date in August has not been set, but it will be either **Wednesday, August 7** or **Tuesday August 20, 2019**. Please hold both dates for a 7:00 p.m. meeting. If there are any questions, please contact me at (216) 491-1435. Thank you for your cooperation in this matter.

Sincerely,



Dan Feinstein
Senior Planner
Zoning Administrator

Cc: Richard Eisenberg
Daryl Mapson, Tribe Architects
Kyle Krewson, Building Department Director
Paul Konys, Building Commissioner
Joyce Braverman, Planning Director
William M. Ondrey Gruber, Law Director



October 28, 2019

Ken Gibson
3517 Antisdale Road
Cleveland Heights, OH 44118

RE: Tapas Restaurant/Lounge/Bar, 16704 Chagrin Boulevard

Dear Mr. Gibson,

The purpose of this letter is to follow up on our conversation today regarding your request for a parking variance at 16704 Chagrin Boulevard, Case #2025. I understand you intend to revise your application to the Board of Zoning Appeals and City Planning Commission by applying for a Conditional Use Permit as well as the parking variance. I wanted to make sure you have all the information to create a complete application beyond just the application form you requested.

Please see the attached letters, which outline the action already taken, and the required information needed to get on the Board of Zoning Appeals and City Planning Commission agenda. I believe you were referring to them on your phone while in the office today, but since you did not want the copies I offered to you, I thought I would attach them to this letter.

The deadline to submit materials to be on the December 3, 2019 meeting agenda is November 15, 2019 at 5:00 p.m. If there are any questions, please contact me at (216) 491-1435. Thank you for your cooperation in this matter.

Sincerely,

Dan Feinstein
Senior Planner
Zoning Administrator

Cc: Richard Eisenberg
Daryl Mapson, Tribe Architects
Kyle Krewson, Building Department Director
Paul Konys, Building Commissioner
Joyce Braverman, Planning Director
William M. Ondrey Gruber, Law Director



SHAKER HEIGHTS

December 9, 2019

Ken Gibson
3517 Antisdale Road
Cleveland Heights, OH 44118

RE: Tapas Restaurant/Lounge/Bar, 16704 Chagrin Boulevard

Dear Mr. Gibson,

Thank you for submitting the additional information regarding your application for a parking variance and conditional use permit for the proposed Tapas/Restaurant/Lounge/Bar at 16704 Chagrin Boulevard. I have reviewed the additional information submitted and have placed the request on the agenda for the January 7, 2020 Board of Zoning Appeals/City Planning Commission meeting.

You have applied for and submitted additional information pertaining to the parking variance. You have also applied for a conditional use permit, but have not submitted additional information relative to the conditional use permit that was requested at the July 2, 2019 meeting. I outlined this information in my July 9, 2010 letter to you, which is attached. If there are any questions, please contact me at (216) 491-1435. Thank you for your cooperation in this matter.

Sincerely,

Daniel Feinstein
Senior Planner
Zoning Administrator

Cc: Ellery Smith (email)
Richard Eisenberg
Daryl Mapson, Tribe Architects
Joyce Braverman, Director, Planning
William M. Ondrey Gruber, Director, Law
Kyle Krewson, Director, Building Department
Paul Konys, Building Commissioner

10-23-19

Mr. Dan Feinstein - Zoning Adm.
Shaker Hts City Council

RE: Change of Use
Zoning Variance.

Tapas Restaurant
DBA GIBBS RESTAURANT & LOUNGE
16704 Chagrin Blvd
Shaker Hts Ohio 44120

Enclosed additional Info
per City Council Request

① Parking Spaces Available/Needed

② Hours of Operations

③ Comparison Parking

① Available Parking

Front of business Off street parking

124 spaces owned by city

Rear parking lot for patrons

108 spaces owned by city

② Hours of Operation avg spaces needed

Mon - Thurs

11am to 2³⁰pm

4pm to 12^{am}

- 12-18 spaces needed

- 18-36 spaces needed

FRI + SAT

Est avg.

11am - 4pm

4pm - 9pm

9pm - 1am

- 12 to 24 spaces needed

- 12 to 36 spaces needed

- 36 to 60 spaces needed

③ Parking by Comparison • Touch of Italy

Mon to Thurs (spaces Avg Used) FRI & SAT

11am to 4pm — 24 to 36

4pm to Closing — 36 to 48

18 to 40 space

48 to 60 space

WINDOW

16704 CHAIRS BLD
FRONT ENTRANCE

Open Area
16' x 18'

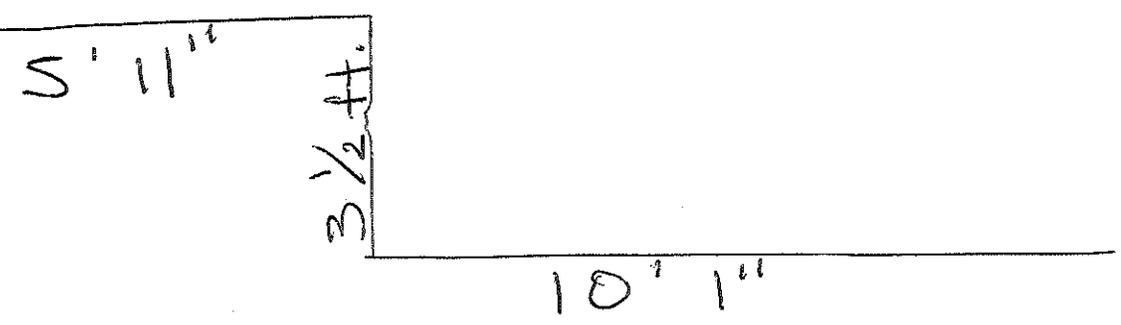
19' 1"

BAR
23 chairs

16 1/2 ft.

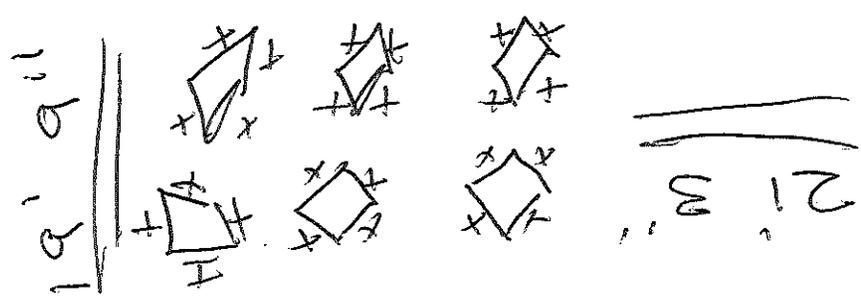
West Wall

EAST WALL



Dining Area tables 24 chairs

Kitchen



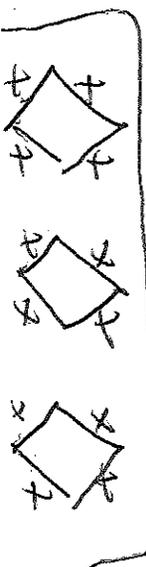
MEN'S ROOM

LADIES ROOM

EXIT

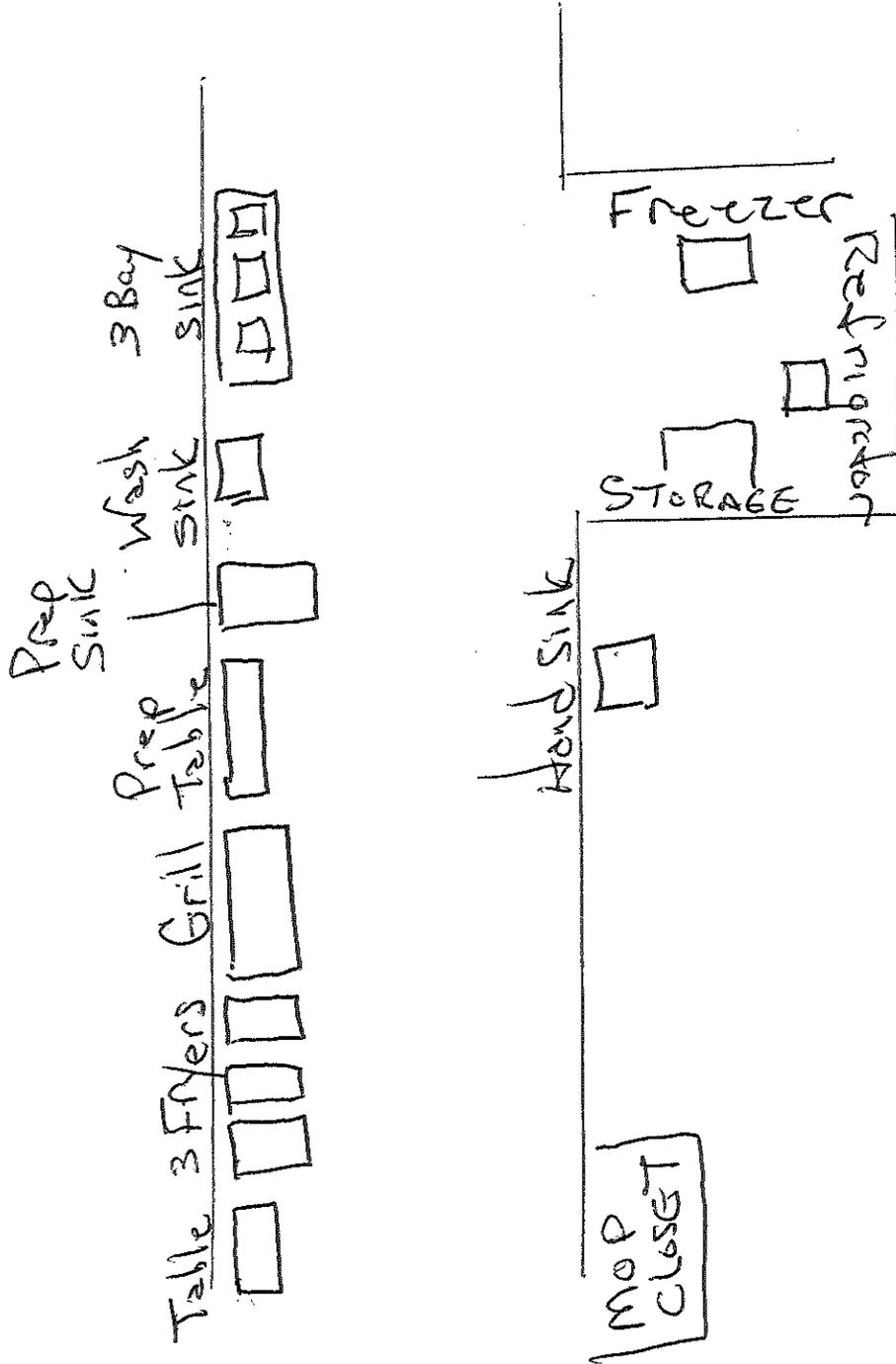
BASEMENT

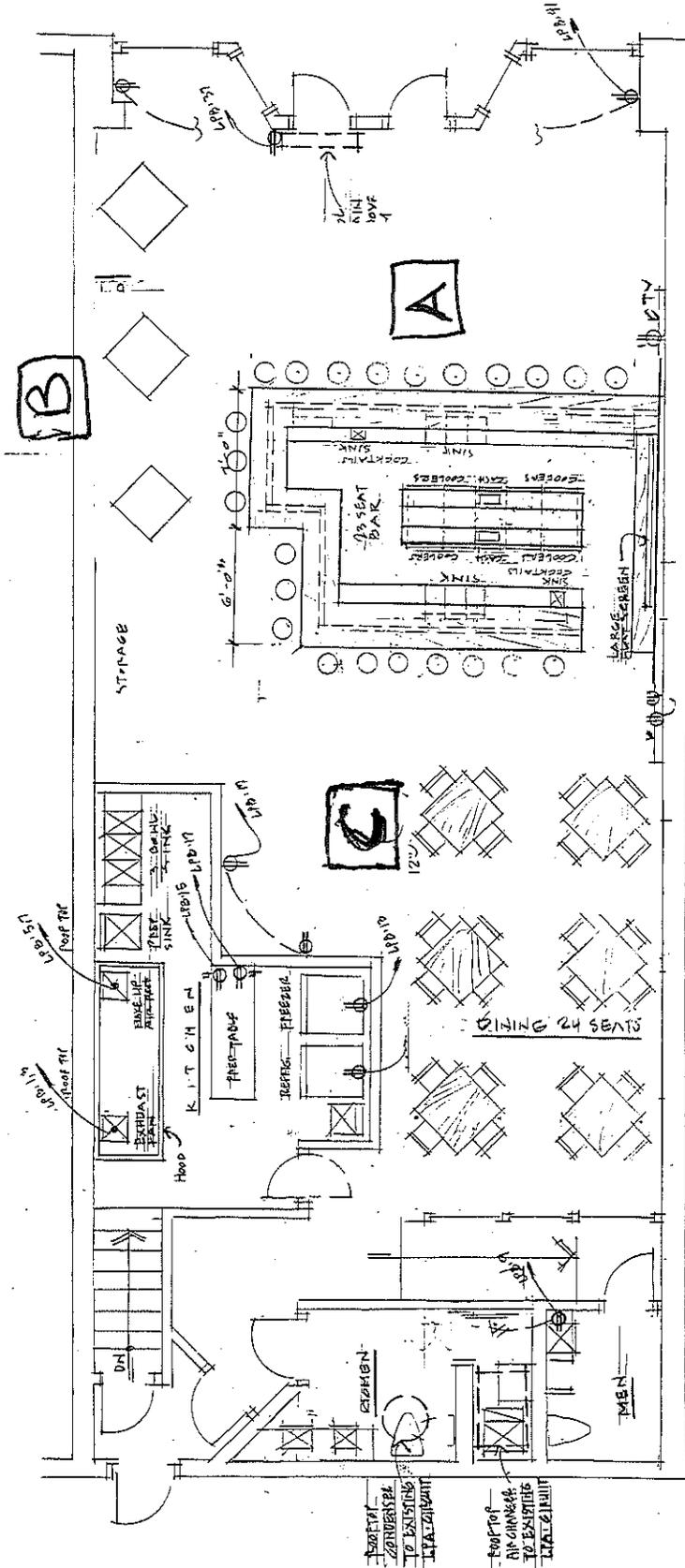
WINDOW



3 TALL TABLES
12 TALL CHAIRS

Kitchen





16704
 Chagrin Boulevard
 Alterations for
TAPAS
 RESTAURANT and LOUNGE
 Shaker Heights, Ohio
 Tribe Architects
 11000 W. 13th Ave.
 Cleveland, Ohio 44110
 216.208.5259
 info@tribearchitects.com

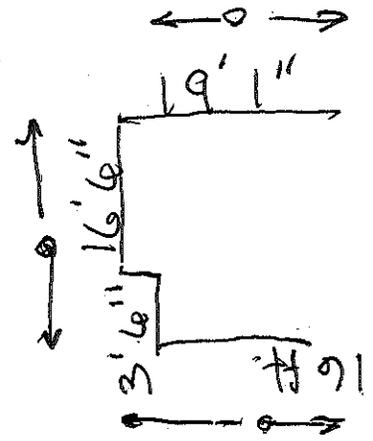
ELECTRICAL POWER PLAN
 S C R L E S 174" = 1'-0"

NOTE: ALL RECEPTS TO BS-GFCI

A BAR AREA
 23-BAR CHAIRS

B 12-CHAIRS (ALONG WALL)
 3-TABLES (WALL)

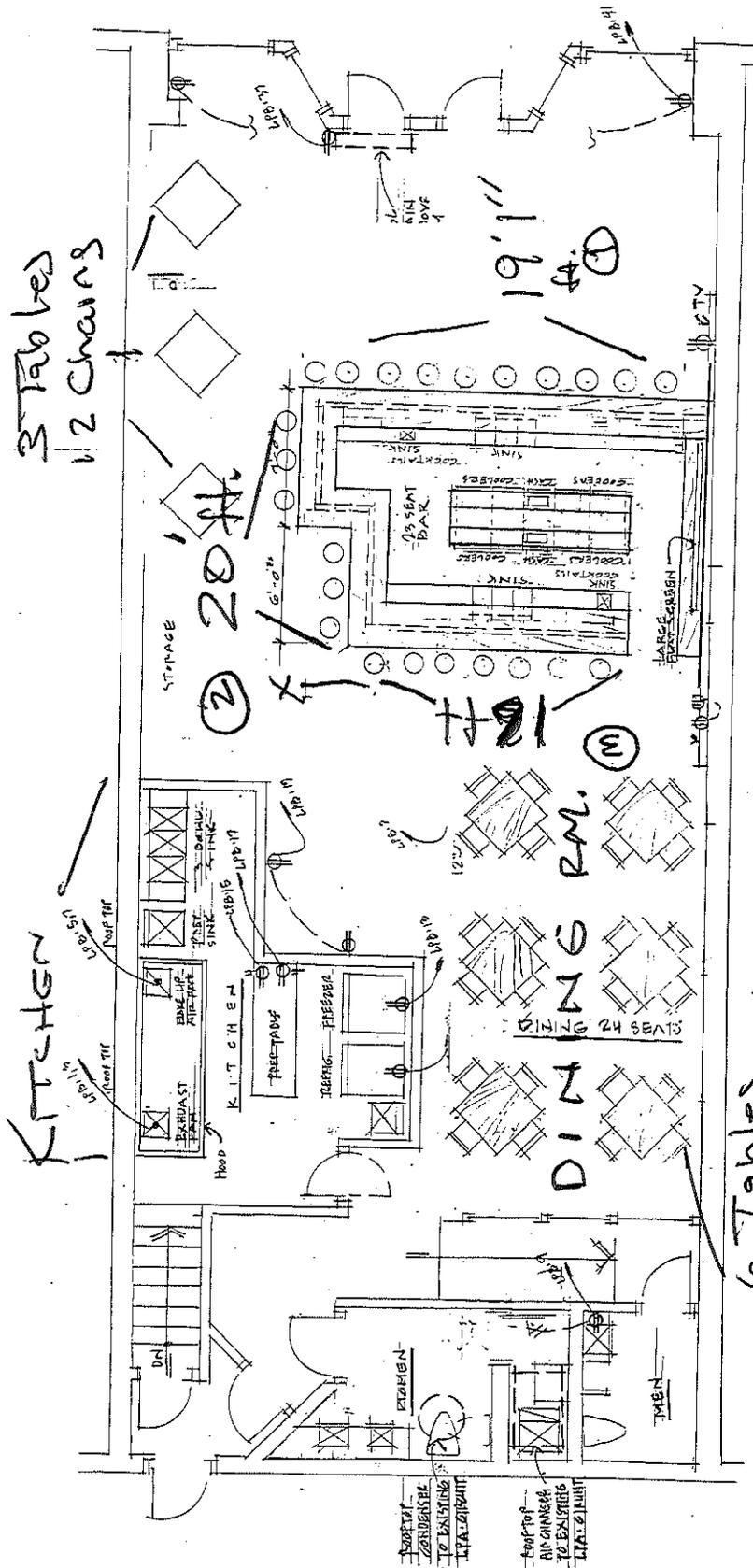
C 6-TABLES (DINING ROOM)
 24-CHAIRS



Elec Power

West Wall

3 Tables
1/2 Chairs



ELECTRICAL POWER PLAN

6 Tables
24 Chairs

1 19 ft 1 inch

2 20 ft.

3 16 ft.

NOTE: ALL DIMENSIONS TO BS-GFCI

BAR MEASUREMENTS

16704

Chagrin Boulevard
Alterations for

TAPAS

RESTAURANT and LOUNGE
Shaker Heights, Ohio
Tribe Architects
1300 East 187th Street
Cleveland, Ohio 44110
216.205.5229
tribe@tribearchitect.com

GIBBS DBA TAPAS
16704 Chagrin Blvd.

Menu

Shrimp
Perch
Tilapia
Whiting
Catfish

Boneless Chicken Breast
wings
Tenders

Chicken / steak Philly's
Polish Boys / Fish Boys
Loaded Potatoes

— BAR —
Liquor, Wine, Beer

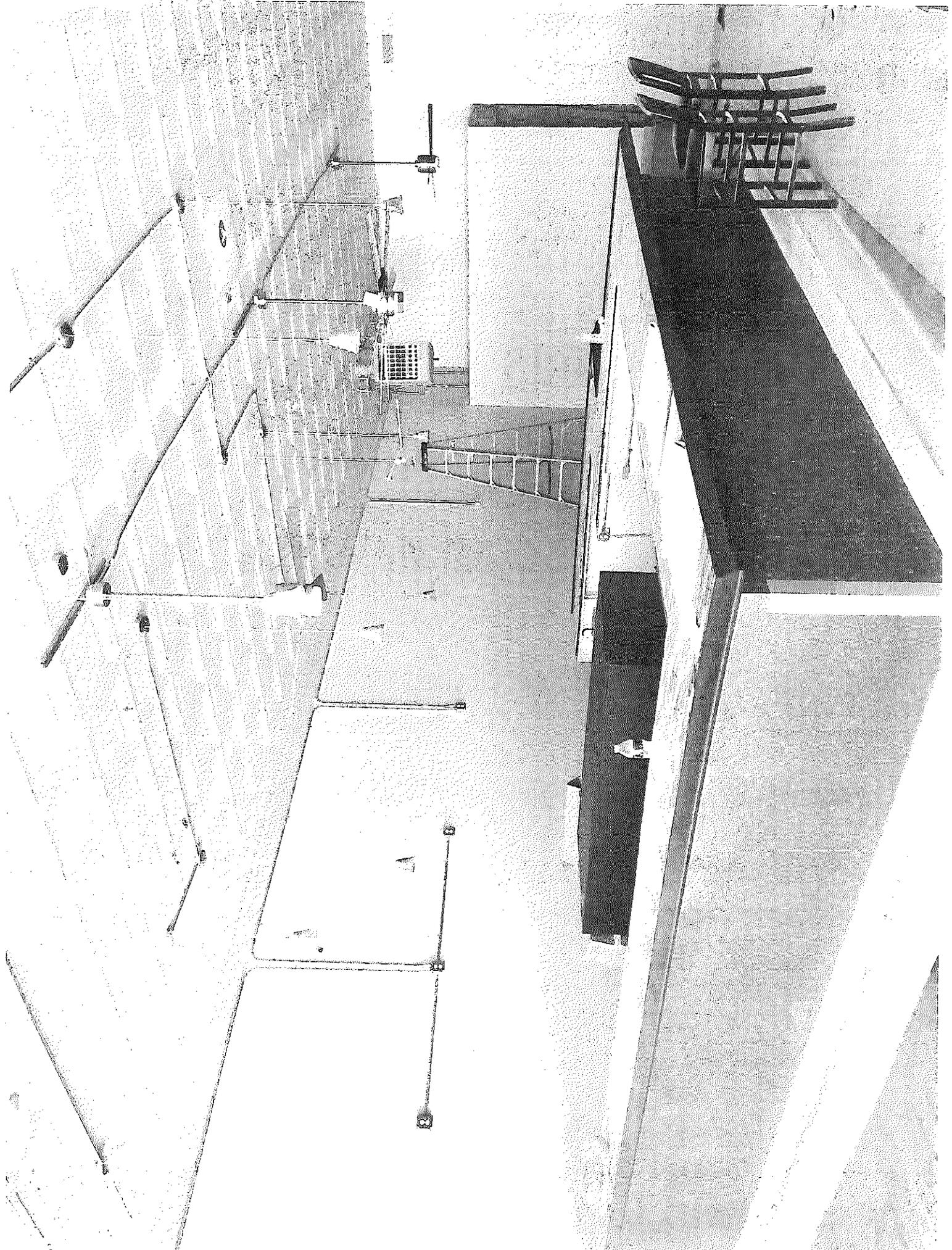
NO TAP BEER

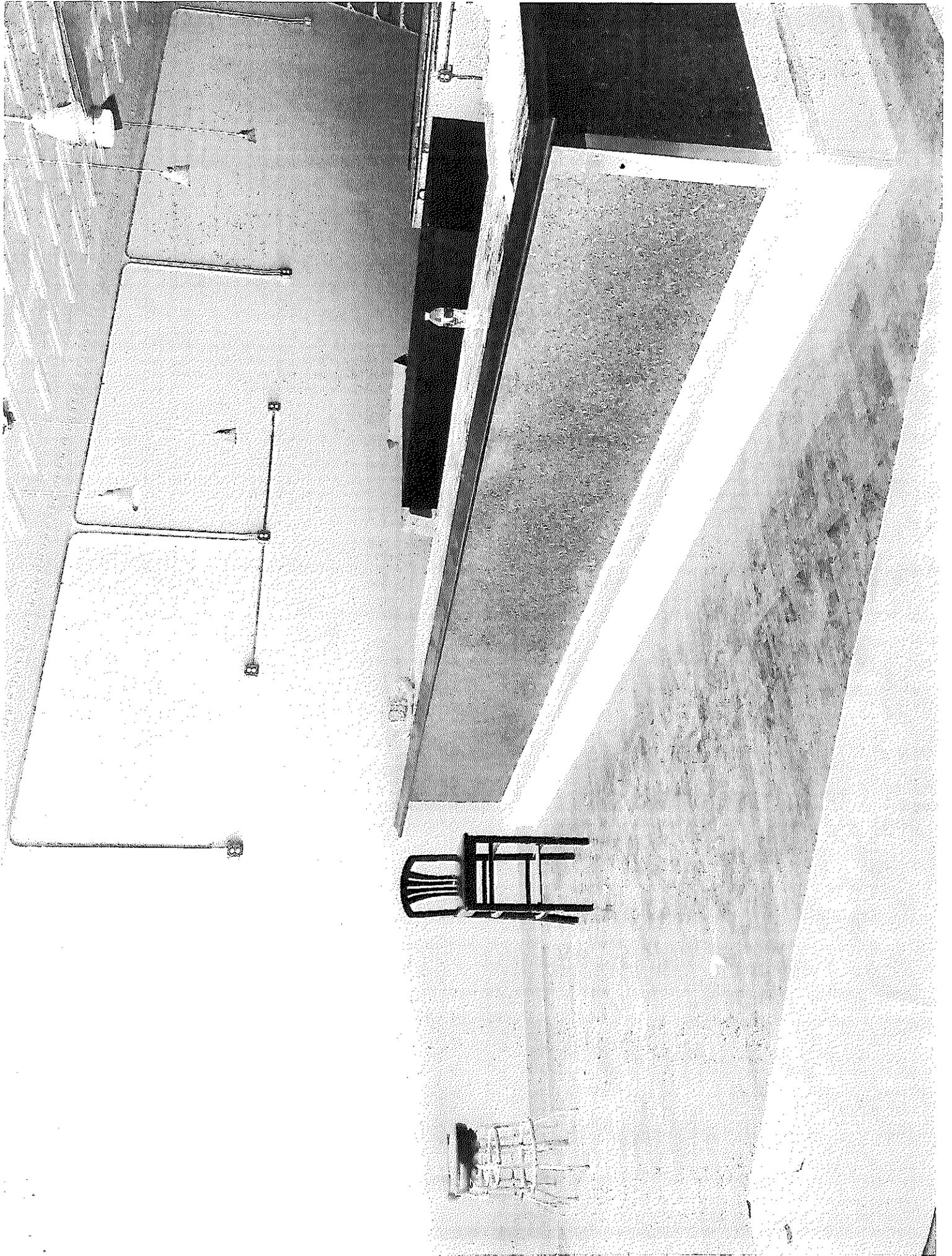
Restaurant Law and Legal Definition. Pursuant to 21 CFR 1.328 [Title 21 -- Food and Drugs; Chapter I -- Food and Drug Administration, Department of Health and Human Services], **restaurant** means “a facility that prepares and sells food directly to consumers for immediate consumption.

(1) Facilities in which food is directly provided to humans, such as cafeterias, lunchrooms, cafes, bistros, fast food establishments, food stands, saloons, taverns, bars, lounges, catering facilities, hospital kitchens, day care kitchens, and nursing home kitchens, are restaurants.

*GIBB'S -
Restaurant & Lounge*





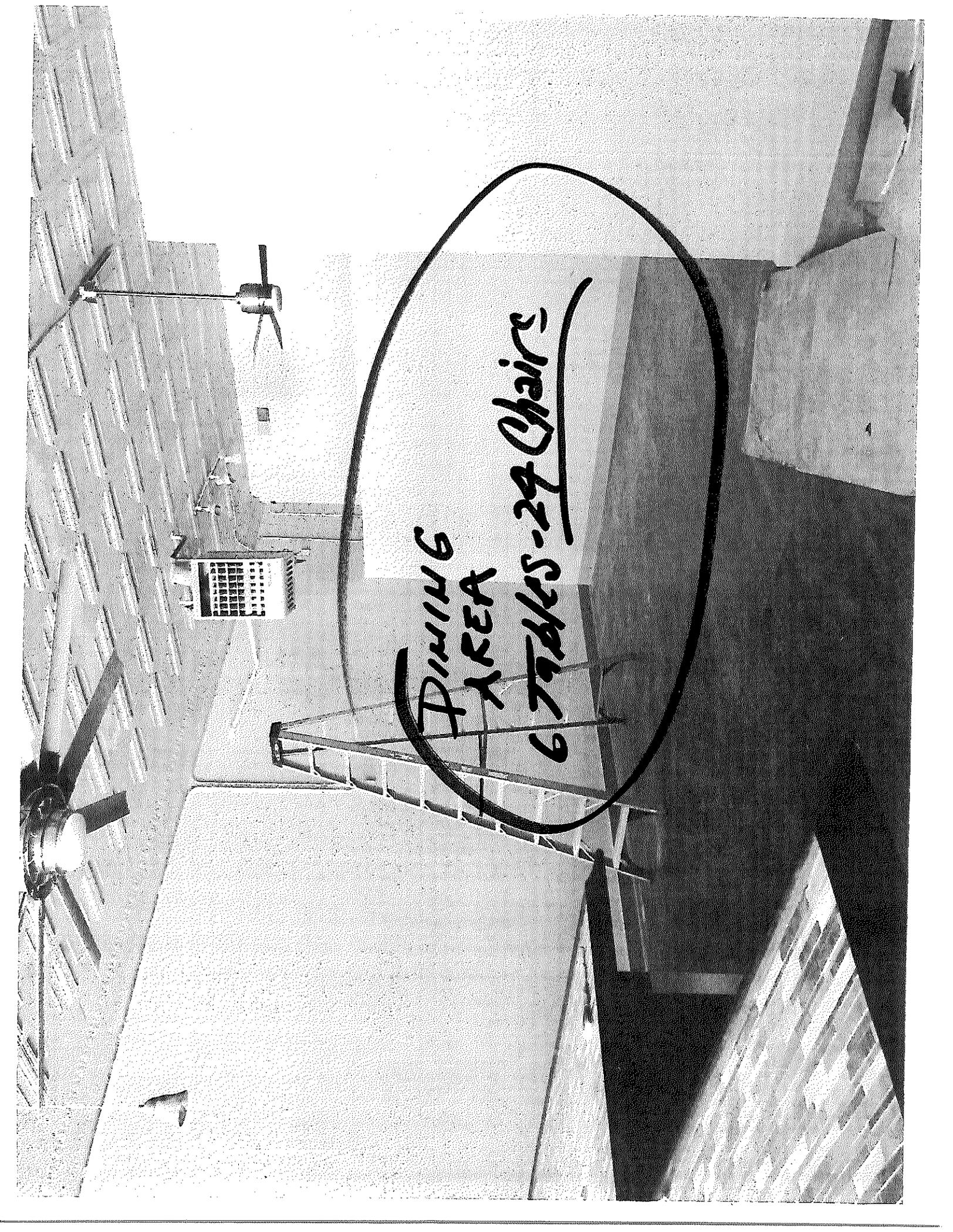




DINING
AREA

DINING
AREA

6 Tables - 24 Chairs



WEST WALL

~~X~~ HIGH CHAIRS

3 TABLES

12 CHAIRS

1

1

1

1

Dining Area

6
TABLES

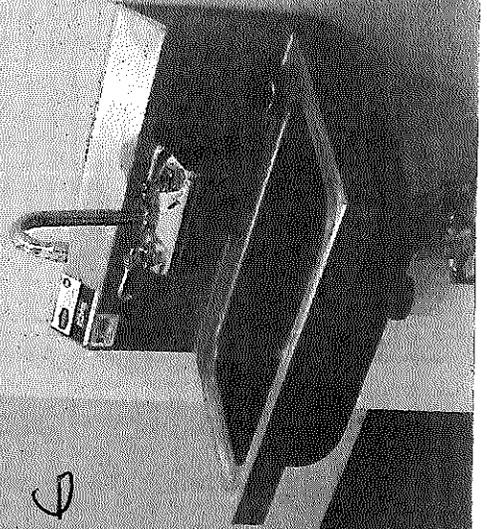
24
CHAIRS

Kitchen



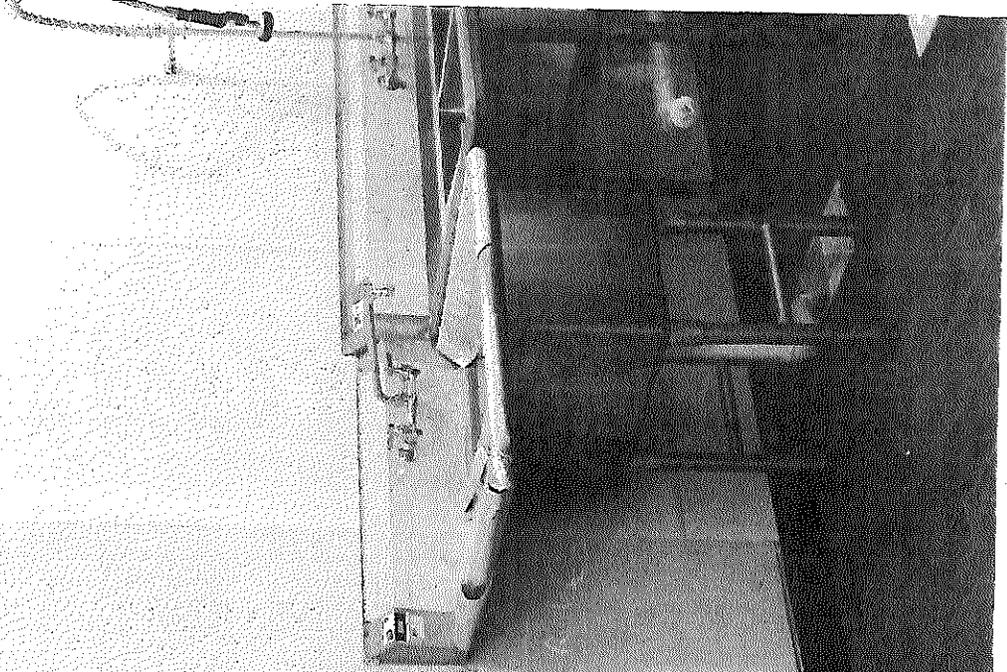
FREEZER

FRIG



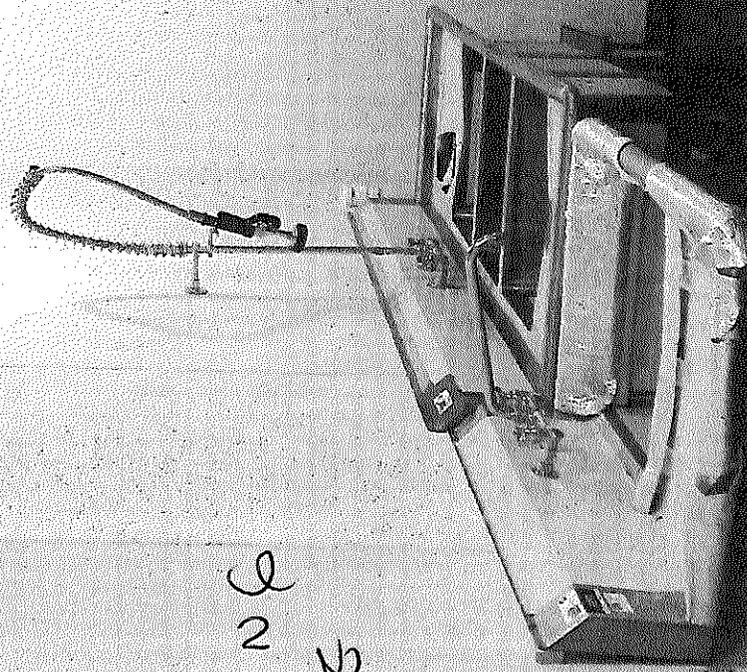
Kitchen

COOKING
LINE

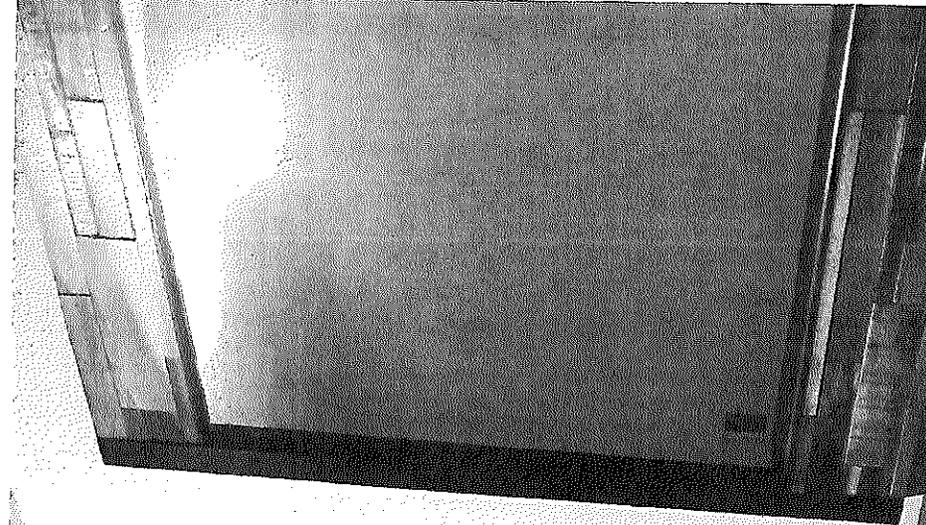
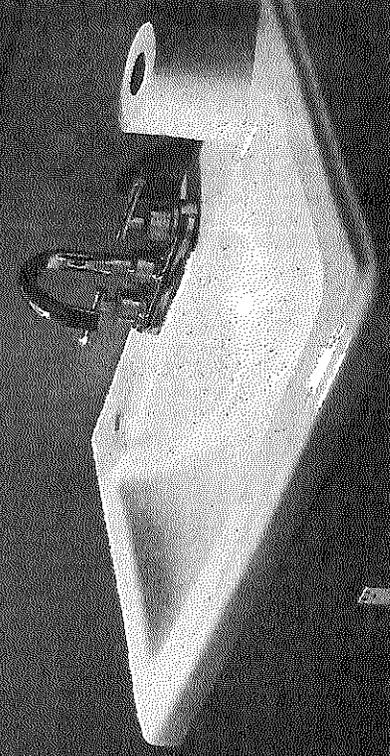
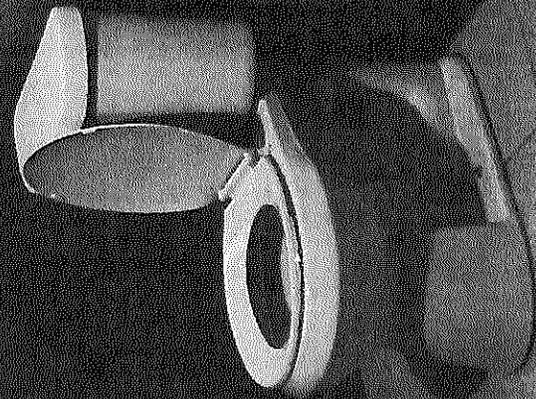


Kitchen

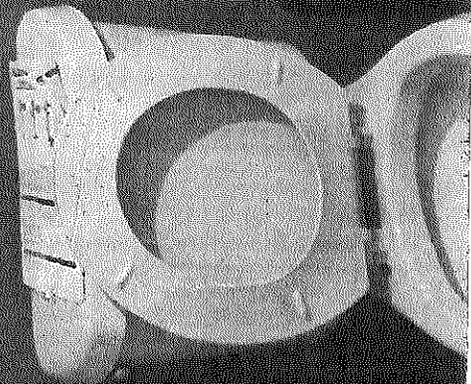
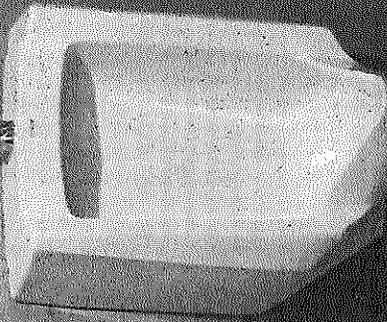
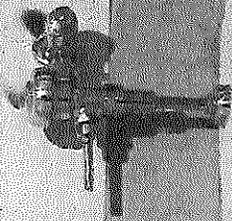
COOKING
LINE



LADIES
ROOM



MEN'S
ROOM



Daniel Feinstein
Zoning Administrator
City of Shaker Heights
June 20, 2019

Board of Zoning Appeals
City Planning Commission
Re: Restaurant/Bar/Lounge
16704 Chagrin Blvd
Shaker Heights 44120

Letter of request regarding the parking variance outlining the hardship and practical difficulty reasons for requesting a parking variance per Section 1213.40 Variances.

Please Note: The space located at 16704 Chagrin Blvd Shaker Hts is a former clothing store in which I received permits(January 2019) to change the space from a clothing store to a Restaurant with Liquor privileges and the building has no on site parking except the on street parking in front of the building as well as the rear parking lot that is owned by the city, there is currently in the excess of 20+merchants currently making use of the available parking as well as a Restaurant/bar/lounge within 500 ft., based on our square footage we are required to have 22-26 spaces of parking available and there is 32 spaces directly behind our building and in addition to that another approximately 150 spaces in the rear lot and another 100+ spaces in the front. The variance is needed because there is no on site parking dedicated to the location and without it there is no chance of any patrons being able to patronize my business or any of the many businesses along that strip.

Thank You,

 6.20.19

Daniel Feinstein
Zoning Administrator
City of Shaker Heights

Re: Zoning Review-16704 Chagrin Blvd
Subject: Email Thursday, June 13, 2019 1:48pm

Mr Feinstein,

#3- Architectural Drawings detailing site plans which included parking spaces in the front and rear submitted on Friday June 14, 2019

#5-Expected parking spaces to be utilized by employees and customers:
Employees permitted to use 4 spaces in the rear of the back parking lot.

Patrons are permitted to use any of the 125 spaces available in the back parking lot as well as any of the 108 parking spaces in the front.

#6-See attached sheet

Thank You,

Ken Gibson Sr.



6.20.19

May 11,2019
Shaker Heights
Dan Feinstein
Senior Planner
Zoning Administrator

Re: Tapas Restaurant/Lounge/Bar 16704 Chagrin Blvd

HOURS OF OPERATION

Sunday-Closed

Mon-Thurs 11am-11pm (Kitchen closes at 10:00pm)

Fri & Sat 11am-2am (Kitchen closes at 1:00am)

EMPLOYEES-14 emp working various days/hours(6 full-time+8 part-time)

3-kitchen personnel

1-server

1-cashier restaurant/carry-out

4-bartenders

1-bar back

1-maintenance personnel

2-security personnel

1-restaurant/bar mgr

During morning hours bartender will also act as server(approx 11am-4pm)
call in orders will be handled by kitchen personnel, delivery by grubhub

MUSIC/ENTERTAINMENT

Mon-Thurs Free in house music provided via jukebox 11-5pm/Customer
pay 5pm-close(jukebox)

Fri-Sat Live entertainment-music 7-9:30pm(keyboard player/ 3-piece

May 11, 2019

Shaker Heights

Dan Feinstein

Senior Planner

Zoning Administrator

Tapas Restaurant/Lounge/Bar

16704 Chagrin Blvd

PROJECTED SALES

2019- Gross sales \$216,000 (based on July 2019 opening)

Monthly sales- \$35k month

Expected percentage

Food sales-60% (\$21k food)(Carry out sales 70%/dining 30%

Liquor sales-40% (\$14k liquor)

2020- Gross sales \$420,000

Monthly sales -\$35k

Expected percentages

Food sales 60% of total sales in which carry out account for 70% of total food

sales 30% in house dining.

Liquor/beer/wine-40%

2021-Projected sales increase 7% from previous year

May 11, 2019
Shaker Heights
Dan Feinstein
Senior Planner
Zoning Administrator

Re: Tapas Restaurant/Lounge/Bar 16704 Chagrin Blvd

HOURS OF OPERATION

Sunday-Closed

Mon-Thurs 11am-11pm (Kitchen closes at 10:00pm)

Fri & Sat 11am-2am (Kitchen closes at 1:00am)

EMPLOYEES-14 emp working various days/hours(6 full-time+8 part-time)

3-kitchen personnel

1-server *(Table service provided 5pm - Close daily)*

1-cashier restaurant/carry-out

4-bartenders

1-bar back

1-maintenance personnel

2-security personnel

1-restaurant/bar mgr

During morning hours bartender will also act as server(approx 11am-4pm)
call in orders will be handled by kitchen personnel, delivery by grubhub

MUSIC/ENTERTAINMENT

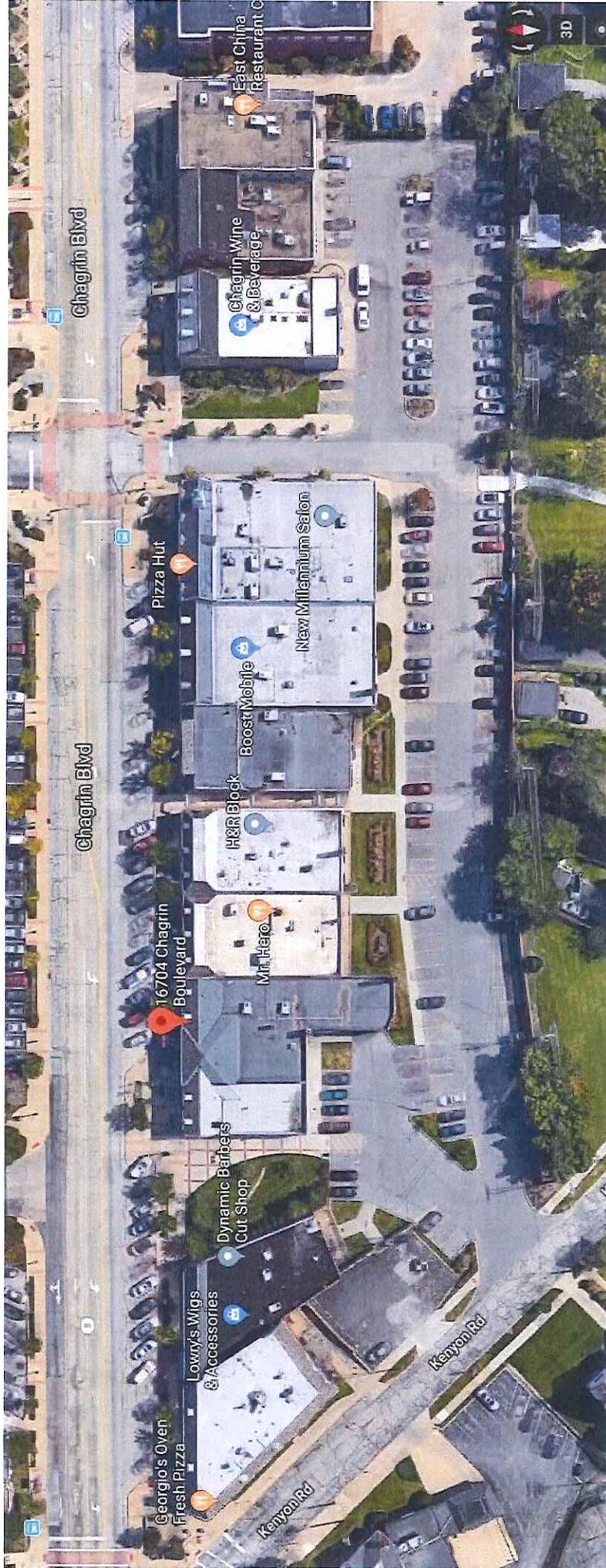
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Fri-Sat Live entertainment-music 7-9:30pm(keyboard player/ 3-piece

pay 5pm-close(jukebox)

Fri-Sat Live entertainment-music 7-9:30pm(keyboard player/ 3-piece band

*After 9pm must be 30 over, with the exception of carry out orders.



Chagrin Blvd

Chagrin Blvd

Georgio's Oven
Fresh Pizza

Lowry's Wigs
& Accessories

Dynamic Barbers
Cut Shop

16704 Chagrin
Boulevard

Mr. Hero

H&R Block

Boost Mobile

New Millennium Salon

Pizza Hut

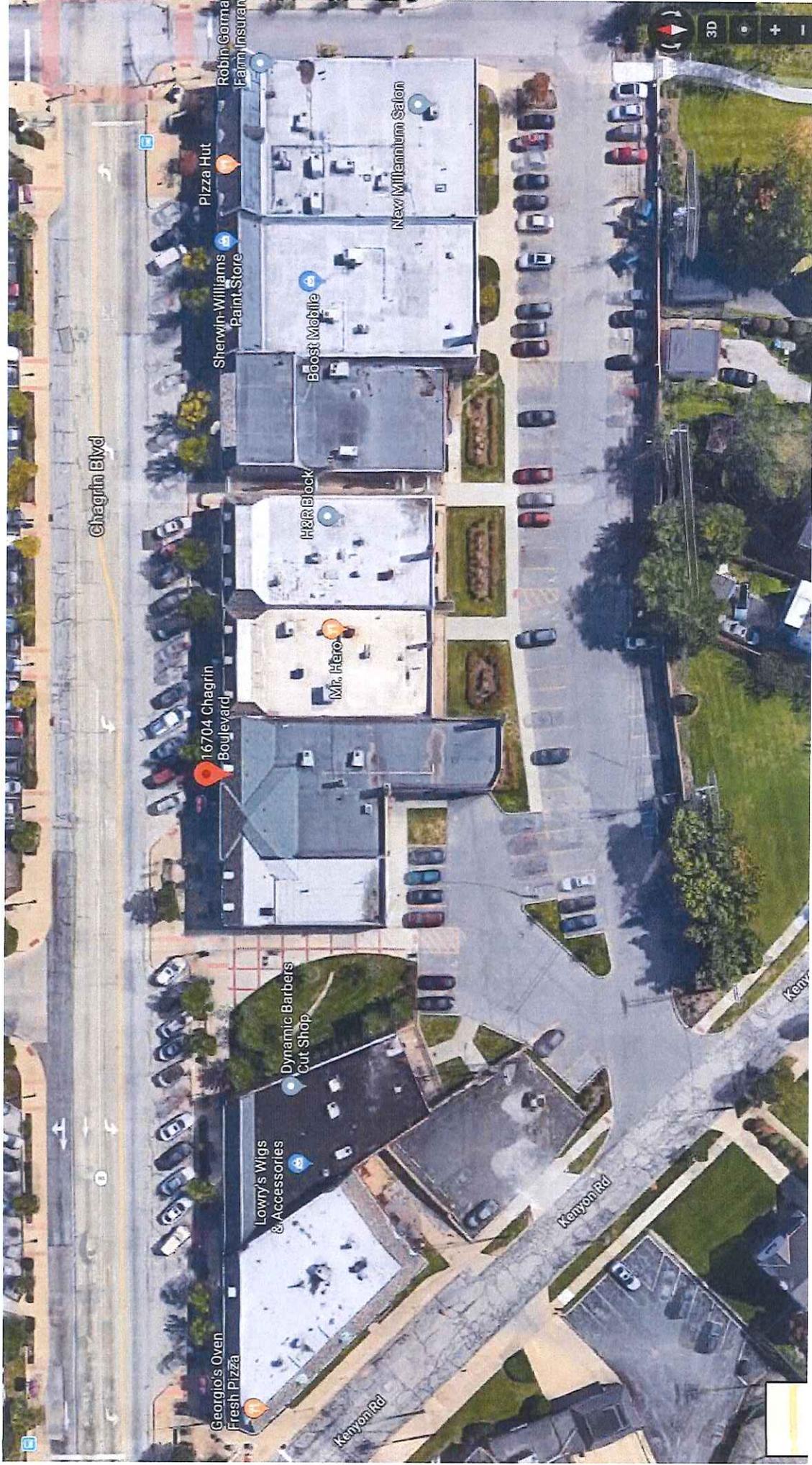
Chagrin Wine
& Beverage

East China
Restaurant

Kenyon Rd

Kenyon Rd

3D



Chagrin Blvd

Pizza Hut

Sherwin-Williams
Paint Store

H&R Block

Mr. Hero

Dynamic Barbers
Cut Shop

Lowry's Wigs
& Accessories

Georgio's Oven
Fresh Pizza

16704 Chagrin
Boulevard

Robin Gorma
Farm Insurance

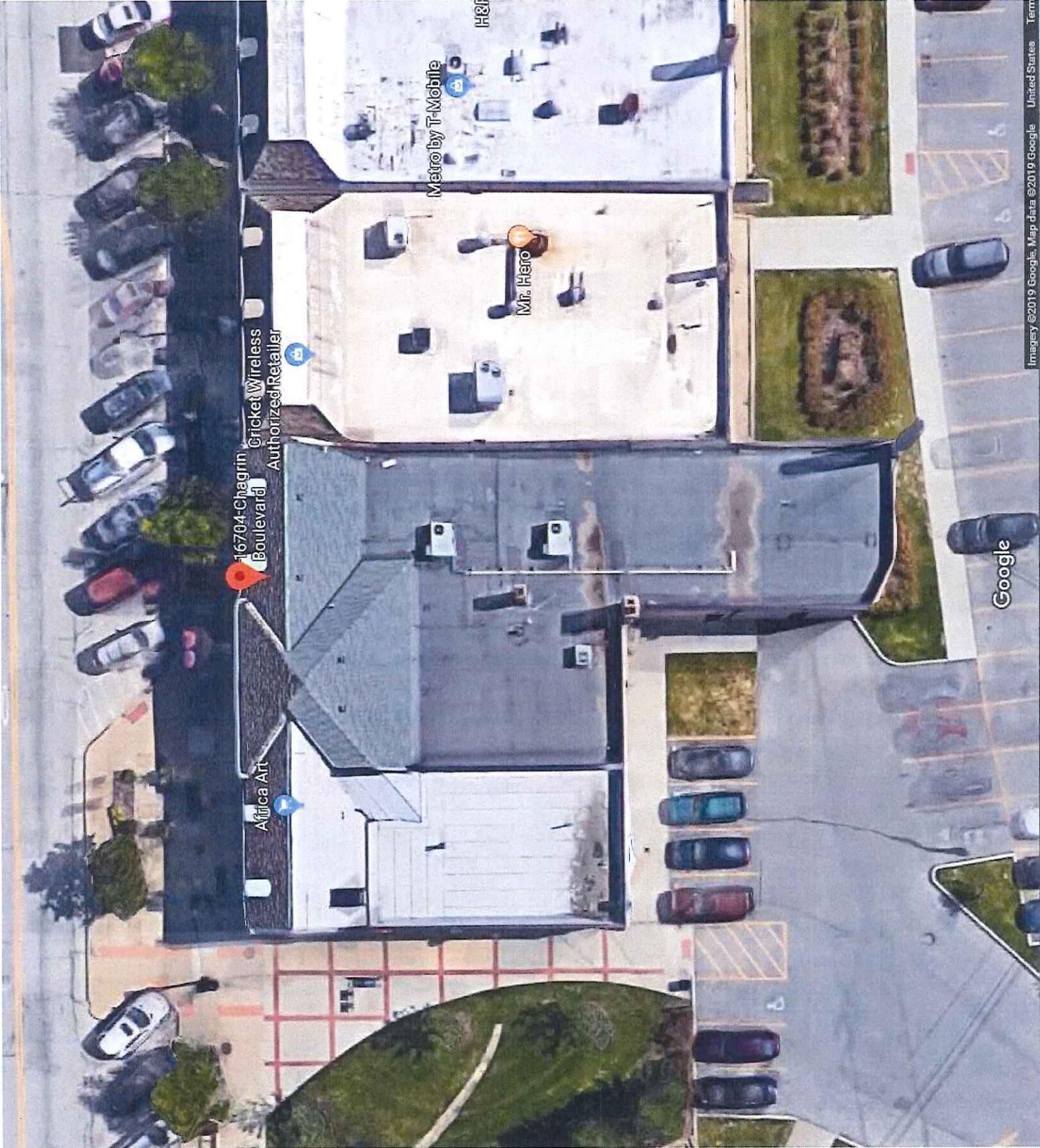
New Millennium Salon

Boost Mobile

Kenyon Rd

Kenyon Rd

3D + -



16704-Chagrin
Boulevard

Cricket Wireless
Authorized Retailer

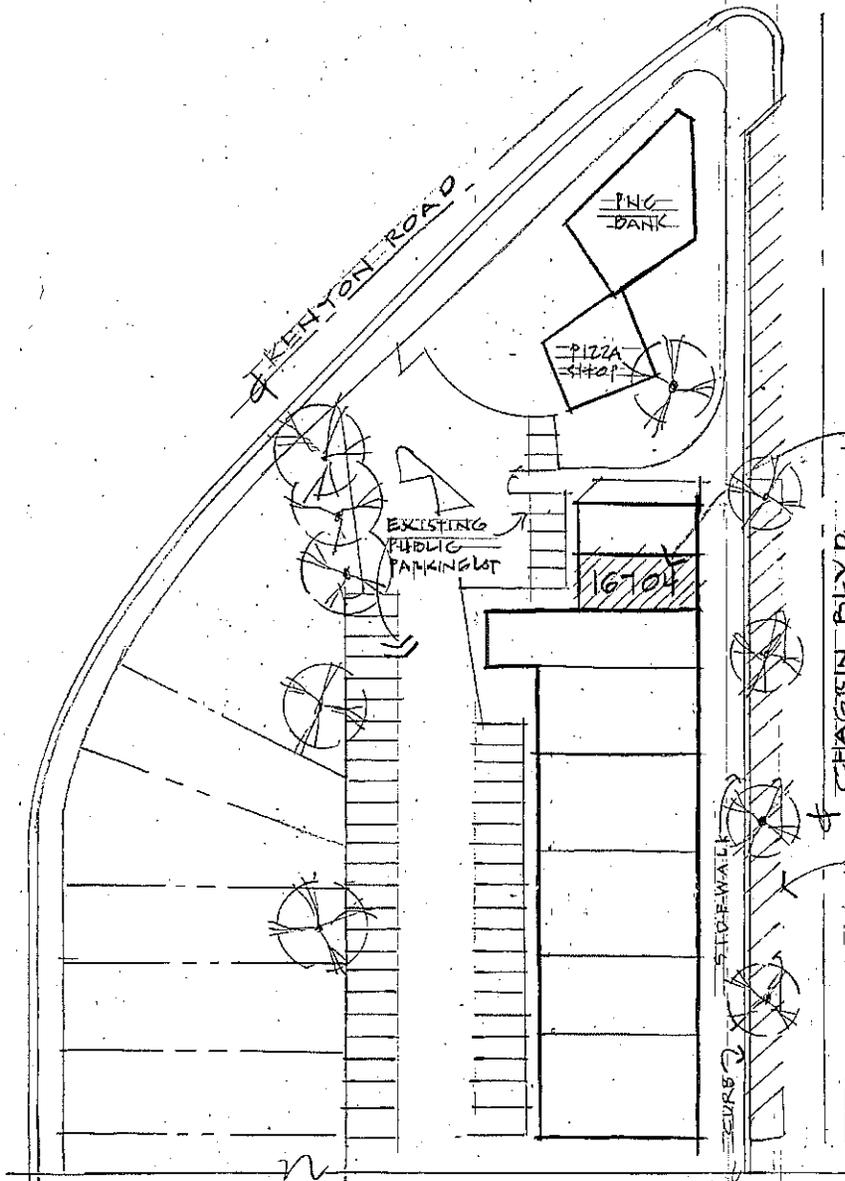
Africa Art

Mr. Hero

Metro by T-Mobile

Google





EXISTING
SITE PLAN
SCALE: 1" = 50'-0"

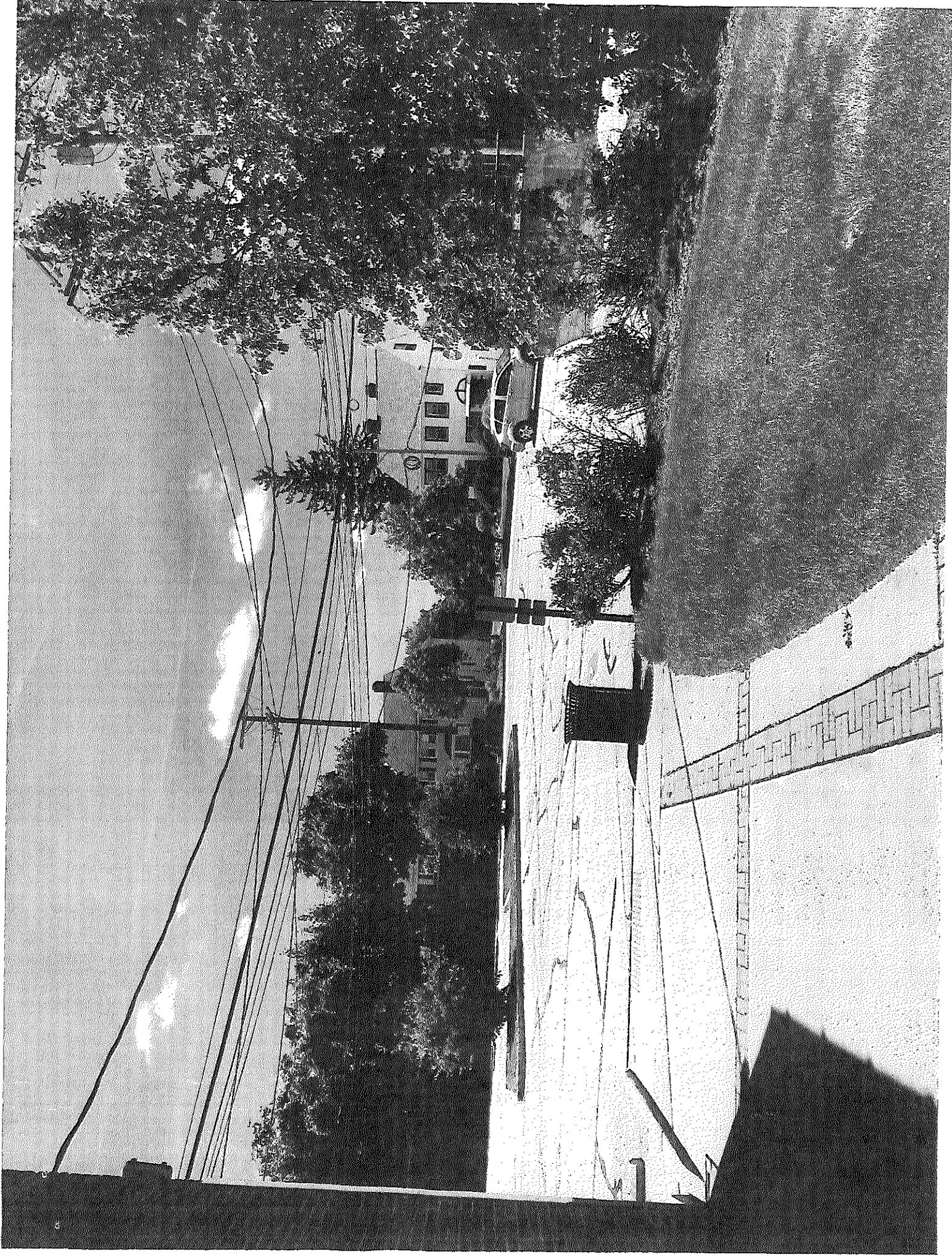
DRAWING LIST

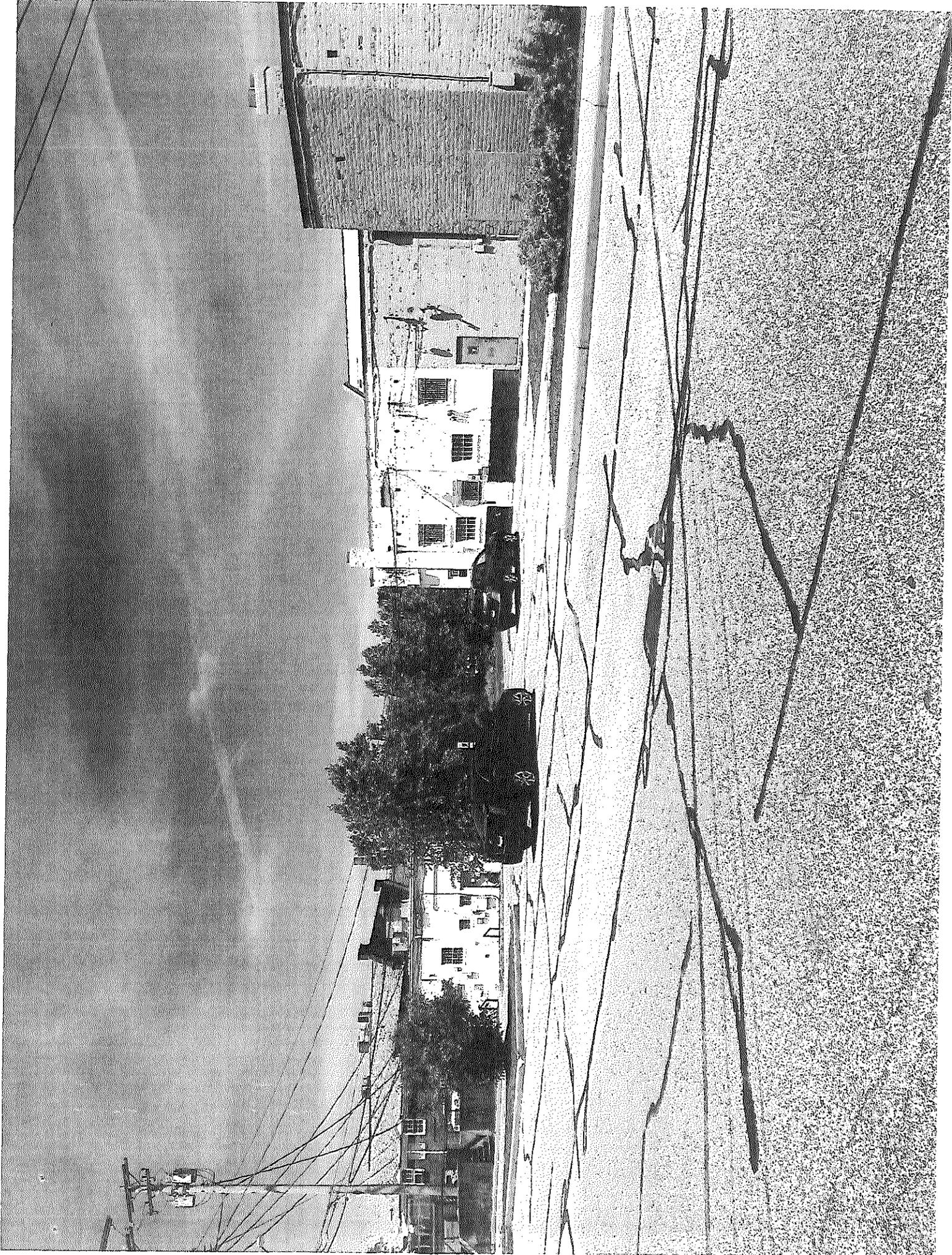
- SP-1 Site Plan
- A-1 First Floor Plan
- A-2 Basement Floor Plan
- A-3 Ceiling Plan
- A-4 Bar Details
- P-1 Plumbing Plan
- P-2 Plumbing Riser Diagram
- M-1 Mechanical HVAC Plan
- E-1 Electrical Lighting Plan
- E-2 Electrical Power Plan
- E-3 Load Panel Diagrams

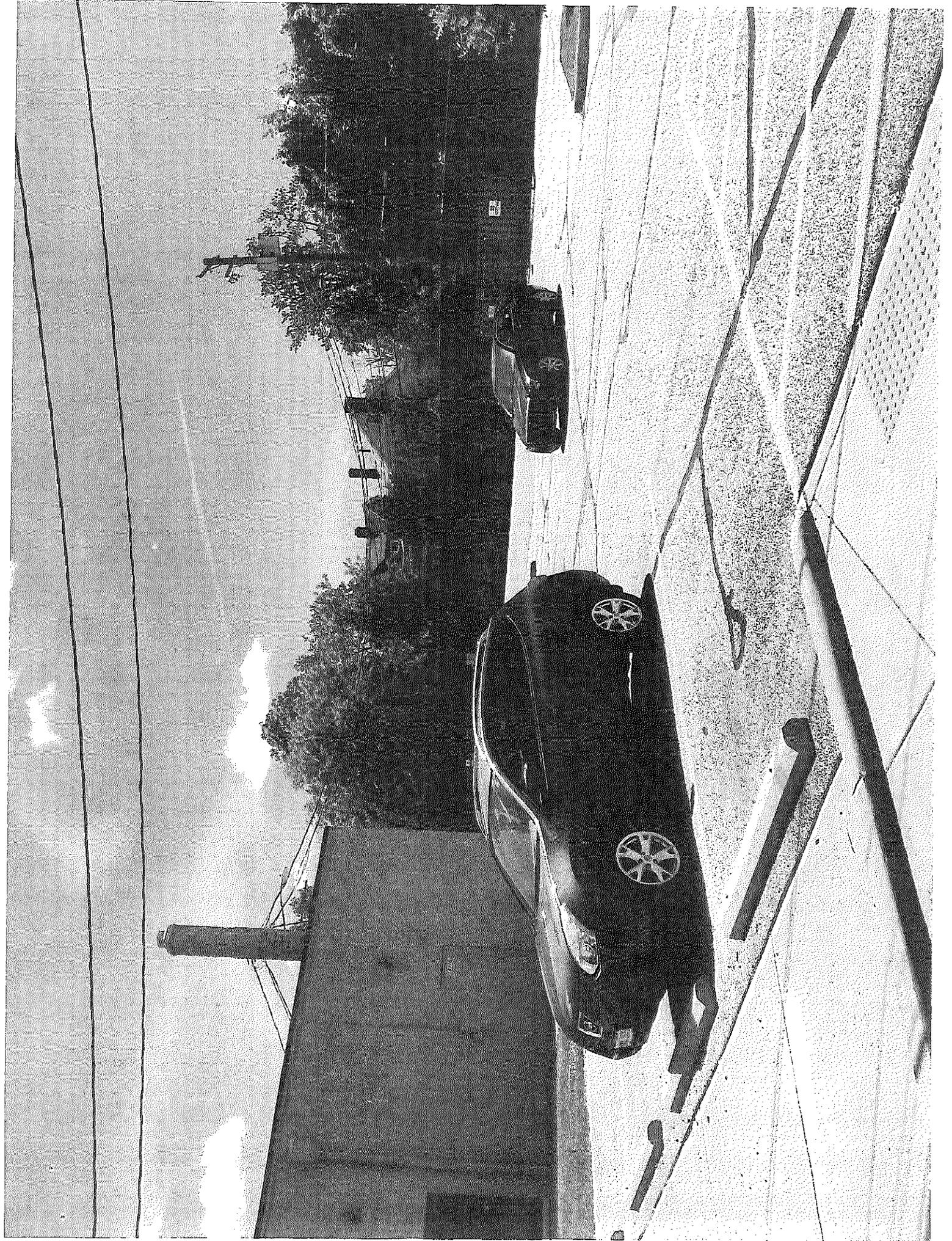
- A. Scope of Work
- New construction areas.
- B. Zoning
- C. Parcel
- D. Use Group
- E. Square Footage
- F. Height
- G. Construction
- H. Owner
- I. Architect
- J. DESIGN
- K. MATERIALS
- 1. Foundation
- 2. Floor
- vapor barrier
- 16"
- 3. Wall
- interior
- wall
- 4. Roof
- metal
- wood

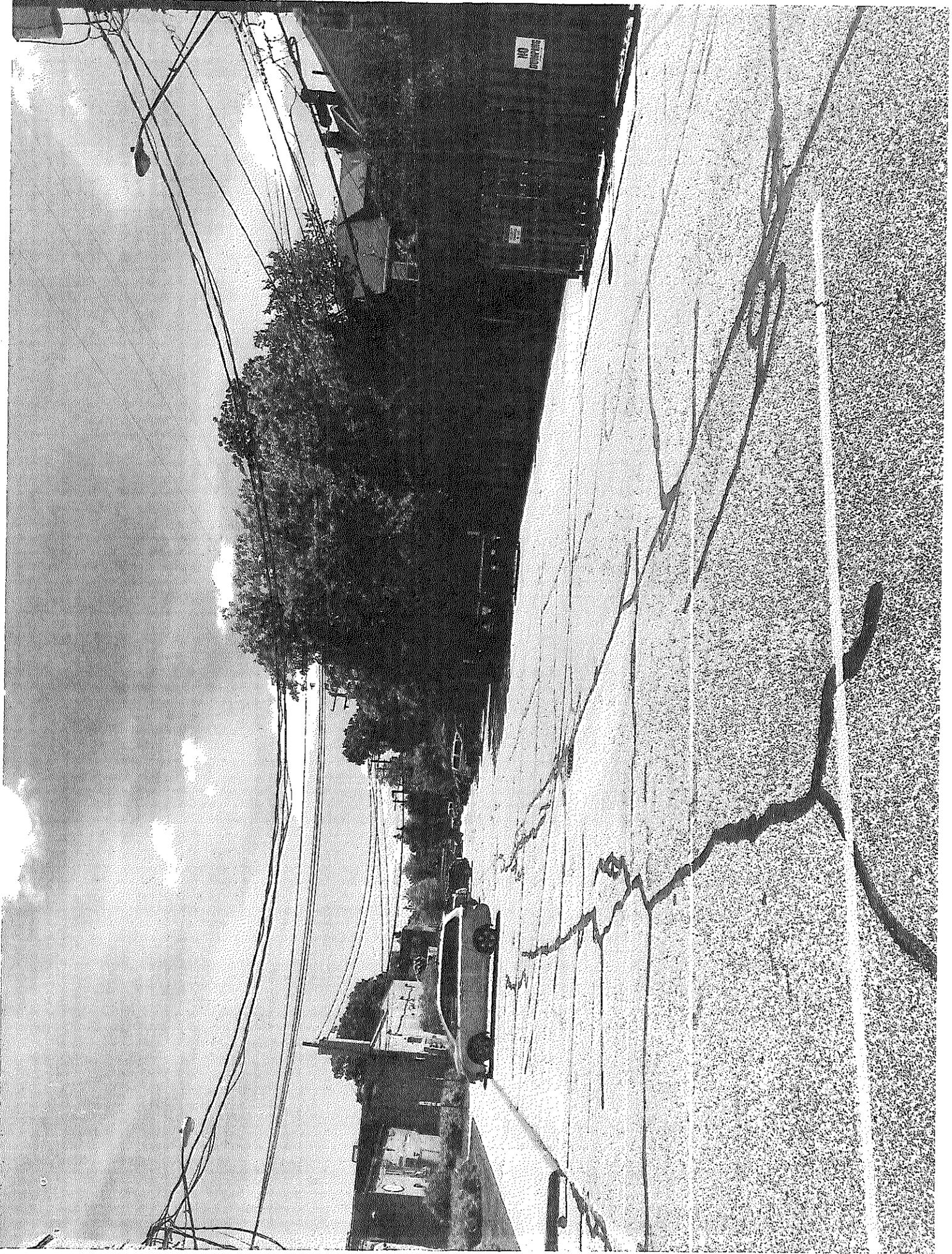
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(1) Facilities in which food is directly provided to humans, such as cafeterias, lunchrooms, cafes, bistros, fast food establishments, food stands, saloons, taverns, bars, lounges, catering facilities, hospital kitchens, day care kitchens, and nursing home kitchens, are restaurants.











16704

16704

Applicant's Name: Nick Fedor on behalf of Shaker REDO LLC Application No: 2045
 Property Address: 3700 - 04 Lee Rd Parcel No: 735-23-030
 City: Shaker Heights State: OH Zip: 44120
 Applicant's Address: 3558 Lee Rd Phone No: 216-571-3075
 City: Shaker Heights State: OH Zip: 44120
 Property Owner (if other than applicant) Shaker REDO LLC
 Property Owner's Address (if different) _____
 City: _____ State: _____ Zip: _____
 Zoning District: _____ Present Use: _____
 Proposed Use: _____
 E-Mail Address: Nick.Fedor@shakerredocorp.com

CHECK INFORMATION ACCOMPANYING THIS APPLICATION

- Site Plan (to scale)
- Detail Drawings
- Landscape Plan
- Narrative Description
- Proof of Control (Option Lease Ownership)
- Product Information, etc.
- Other Descriptions or Materials as Appropriate
- Photographs

CHECK SPECIFIC ACTION REQUIRED

- | | |
|--|---|
| <p><u>BZA</u></p> <p>1. VARIANCE (requires public hearing)</p> <p>Sign regulations Fence Regulations
 Height Regulations Off-street Parking
 Area and Yard Regulations</p> <p>2. OTHER APPROVALS</p> <p><input type="checkbox"/> Appeal
 <input type="checkbox"/> Other: _____</p> | <p><u>CPC</u></p> <p><input checked="" type="checkbox"/> Conditional Use Permit (requires public hearing)</p> <p><input type="checkbox"/> Planned Unit Development</p> <p><input type="checkbox"/> Site Plan Review</p> <p><input type="checkbox"/> Resubdivision of Land</p> <p><input type="checkbox"/> Amendment to Zoning Map or Ordinance</p> <p><input type="checkbox"/> Improvements to Public Land</p> <p><input type="checkbox"/> Other: _____</p> |
|--|---|

Summarize special conditions, practical difficulty or hardships imposed on the owner of the premises if strict letter of the ordinance were to be enforced:

High quality signage - specifically a projecting sign - is not allowed unless a Local Sign District is created.

To the best of my knowledge, the foregoing statements in this application are true and correct.

[Signature]
SIGNATURE:

12/20/19
DATE:



SHAKER HEIGHTS

NOTICE OF PUBLIC HEARING

Notice is hereby given that application is being made by Nick Fedor, Shaker Heights Development Corporation, representing Shaker Redo LLC, 3700-3704 Lee Road, to the Board of Zoning Appeals and City Planning Commission for a Conditional Use Permit for a Local Sign District and a sign variance. The applicant proposes to utilize a blade sign, wall signs and window signs in order to provide signage for this commercial building at the corner of Lee and Nicholas Roads. A Local Sign District is required in order to utilize blade or projecting signs. There is one blade sign proposed on the Lee Road side of the building in order to identify businesses in this redesigned building. The blade sign is proposed to extend above the flat roof of the building. Code does not allow a sign to extend above the cornice line of a building. Council confirmation of a Conditional Use Permit is required.

The Board of Zoning Appeals and City Planning Commission will hold a Public Hearing on said application on **Tuesday, January 7, 2020 at 7:00 p.m.** in the Council Chamber of City Hall, 3400 Lee Road, Shaker Heights, Ohio. Interested parties may appear at the Public Hearing and be heard with respect to this application.

Plans are available for public review in the Planning Department during City Hall hours, and online at <https://www.shakeronline.com/AgendaCenter>. Online plans and information are posted the Friday before the meeting date.

Dan Feinstein
Secretary
Board of Zoning Appeals
City Planning Commission

To request an accommodation for a person with disability, call the City's ADA Coordinator at 216/491-1440, or Ohio Relay Service at 711 for TTY users.

**The City of Shaker Heights
Board of Zoning Appeals and City Planning Commission**

STAFF REPORT

ADDRESS:

**3700-3704 Lee Road
Shaker Redo LLC
Case#: 2045**

HEARING DATE:

January 7, 2020

SUMMARY:

Conditional Use Permit to establish a Local Sign District and variance to the sign regulations in order to install a projecting sign extending above the building cornice line where it is not permitted.

STAFF POSITION:

- Staff recommends approval with the following conditions:
 - No portable signs allowed;
 - Projecting signs are limited to 12 square feet and 3 foot projection.
 - The signage requirements will be included in the tenant leases.
 - All signage requires Architectural Board of Review design approval.
- Based on:
 - Portable signs are not an appropriate signage type for an individual small property located on a long commercial street. There is no precedent for this condition.
 - Allowing portable signs will signal other businesses on Lee Road to put out temporary portable signs without review or approval.
 - The proposed secondary projecting sign size maximum is too large and out of scale for secondary signs. There are no secondary signs allowed in the zoning code over 6 square feet in size.
 - The proposed 20 square foot secondary projecting sign, which extends 7 feet from the façade effectively, creates another primary sign.
 - The Architectural Board of Review approved the design of the new facade and the proposed projecting sign at their November 18, 2019 meeting.
 - The west side of Lee Road has numerous monument signs, which allow perpendicular signs facing both north and south. The proposed projecting sign allows similar visibilities to the street.
 - The building is a unique design without a sign band on the building façade.
 - The flat roof design of the building does not have any architectural elements above the roofline.
 - The building façade meets the uniqueness standards, as there is no traditional sign band for primary wall signs on this building.
 - The sign extending above the flat roof will not change the essential character of the neighborhood or be detrimental to the public health due to the limited size and scope of the projecting sign and the flat roof design of the building.
 - There is no adverse impact, interference with surrounding development or destruction of significant features caused by the signage plan as amended.

ACTION:

- Conditional Use Permit to establish a Local Sign District in order to utilize projecting signs.
- Variance to the sign regulations for a sign to extend above the roofline. Code does not allow a sign to extend above the cornice of the building.

**The City of Shaker Heights
Board of Zoning Appeals and City Planning Commission**

STAFF REPORT

**Continued
ADDRESS:**

3700-3704 Lee Road
Shaker Redo LLC
Case#: 2045

HEARING DATE:

January 7, 2020

FACTS:

1. The applicant proposes to renovate the façade and utilize a projecting sign as a secondary sign in order to provide signage for new businesses in the former Shaker Quality Door space at the corner of Lee and Nicholas Roads.
2. The applicant proposes a Local Sign District plan including:
 - a. A projecting sign as a secondary sign;
 - b. Two (2) painted primary wall signs for the corner tenant space;
 - c. One (1) primary wall sign with individual letters for each Lee Road tenant space;
 - d. Two (2) secondary window signs for each Lee Road tenant up to 8 square feet; and
 - e. Portable signs on the sidewalk.
3. The proposed projecting sign is 9 feet tall by 1 foot 4 inches wide, installed on the building wall facing Lee Road. The proposed projecting sign is 12 square feet and projects 2 feet 9 inches from the facade.
4. The proposed projecting sign is larger than code allows. The code allows only a 3 foot projection and 6 square feet of total sign.
5. Code does not allow a sign to extend above the cornice line of the building. The proposed projecting sign extends 5 feet 2 inches above the flat roof.
6. This unique building does not have a sign band to locate a more traditional wall sign.

CODE SECTIONS:

1. 1250.09 – Conditional Use Permit for a Local Sign District.
2. 1250.08 E – Projecting signs require a Local Sign District, cannot project more than 3 feet and be no more than 6 square feet in size, except as otherwise regulated by a Local Sign District.
3. 1213.04 E – Variance standards include physical surroundings, uniqueness, detriment to public welfare, the essential welfare of the neighborhood for practical difficulty and hardship reasons.
4. 1213.05 H – Conditional Use standards include criteria on ordinance purposes, nuisance or noise, adverse impact, interference with surrounding development, adequate public facilities, and traffic congestion.

OTHER ISSUES:

1. The former Shaker Quality Door building is being renovated with three commercial spaces and an entire new façade.
2. The Architectural Board of Review at their November 18, 2019 meeting approved the exterior building renovations and sign design.
3. The flat roof of the building means even though the projecting sign extends above the cornice of the building, it does not detract from the architecture of the building.
4. The proposed secondary window signage rules allow 2 instead of 1 sign per storefront and increases the maximum size to 8 square feet from the 6 square feet allowed by code.
5. There is no primary wall sign size required so the size must meet current zoning code maximum of 1 square feet of signage for every linear foot of storefront with a 50 square

**The City of Shaker Heights
Board of Zoning Appeals and City Planning Commission**

STAFF REPORT

**Continued
ADDRESS:**

**3700-3704 Lee Road
Shaker Redo LLC
Case#: 2045**

HEARING DATE:

January 7, 2020

OTHER ISSUES: (continued)

- foot maximum.
6. The proposed projecting sign is 12 square feet in size and projects 2 feet 9 inches from the building. The sign proposal allows a 20 square foot maximum projecting sign and a 7 foot extension. Staff believes this is too large for a secondary sign and recommends a 3 foot extension and 12 square foot maximum.
 7. The Van Aken District portable signs were approved based on an entire shopping district on a much more integrated site where the same signage regulations cover an entire block. There is no precedent for portable signs, nor is it appropriate for only one building located on a long commercial street.
 8. There are no other secondary signs allowed in the code larger than 6 square feet in size.
 9. Code states the projecting sign size and projection can be "otherwise regulated by the Local Sign District".
 10. The property owner of the building through their leases should require these signage requirements.
 11. Council confirmation is required for the Conditional Use Permit for the Local Sign District.

PRECEDENT:

1. Juma Gallery – 20100-14 Chagrin – Local Sign District with blade signs.
2. Van Aken District – District tenant signage plan with projecting signs and portable signs throughout the entire district.
3. Shaker Commons Property – Local Sign District with blade signs several buildings on the south side of Chagrin Boulevard.
4. Lee/Scottsdale Building – approved a Local Sign District with two blade signs on Lee Road (They have not been installed)
5. Van Aken Center – A Conditional Use Permit was approved for a Local Sign District
6. Shaker Plaza Shopping Center – C Conditional Use Permit was approved for a Local Sign District on the southern portion of the shopping center.

canopy. All of the water that sheets down the building wall will run onto the canopy and directly onto the walkway. This may cause a dangerous situation as well as liability concerns for the owner.

Mr. Rembowski said this canopy should not shed enough water to necessitate such a thing.

Jeremy Simonovic, 3592 Lee LLC, noted the owner is still interested in leaving the existing structure as-is.

The Board agreed the proposed canopy design is going in a good direction. They asked the applicant to discuss options for water diversion with the canopy manufacturer. There could be a rim at the edge and a rough at the rear corners which divert to downspouts. The manufacturer may already make a canopy with a gutter system.

Ms. Beck asked the Board's color preference.

The Board agreed the proposed stone color is appropriate as it will blend into the existing stone building details.

Tabled in order for the details to be revised in order to show the complete mounting information, and the canopy to be altered so as to shed water to the side.

Revised plans will be submitted for Board review.

* * * *

#20335 - 3700 - 3704 Lee Road - Storefront and Signage: Process Canine.

Mr. Feinstein pointed out this building is at the corner of Lee and Nicholas Roads. Just to the south of this proposal is the Process Canine business in the old Lee Road Nursery building.

Elicia Gibbon, Gibbon Architecture, explained there are two separate buildings, which have been treated with the same covering material. The stone material will be removed, but the northern building was constructed of structural clay block, which should not have penetrations made through it. The southern building has face brick on block. The northern building will have a rainscreen at its southern end to break the facades up into thirds. The southern building's face brick will be painted. A thin brick will be applied to the northern building to avoid penetrations into the clay and painted. The southern building will be painted a purple/grey color and the northern building will be painted navy blue. There will be an aluminum canopy to cover the existing pitted aluminum storefront frame.

There was discussion regarding the anticipated site conditions once the current material is removed and the options open to them.

Ms. Gibbon said there will be new replacement doors and transoms at 3704, with gooseneck lighting and aluminum cutout letters for signage, located on the trellis. At 3700, they propose a wall sign on the Nicholas Road elevation and a projecting sign at the rainscreen element.

Mr. Feinstein noted there is a projecting sign above the cornice, which is prohibited by the Zoning Ordinances. It will require a variance.

The Board agreed this sign is on a specifically different building form in this design. It is not above the next building roof height. It appears as part of the architectural expression and they support the blade sign design.

Mr. Walter asked about new lighting at 3700 Lee.

Ms. Gibbon said they could do puck lighting under the canopy, but they will not propose anything attached to the building.

Mr. Neville asked how the planter will be constructed so the walls remain straight. He asked if there could be a plinth to keep the steel rainscreen elements above grade.

Ms. Gibbon noted she is working on the planter details, which will be constructed of cedar. She noted they like the design of the steel at grade, but understands the longevity issues this brings.

Approved with the condition that construction details for the planters at 3700 Lee Road are provided for Board review.

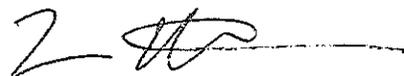
The Board requested that the applicant consider lighting in the canopy and the rain screen wall, and a base at the screen wall to keep the metal elements above grade.

* * * *

There being no further business, the meeting was adjourned at 10:15 a.m. The next meeting will be December 2, 2019.



Sandra Madison, Chair
Architectural Board of Review



Hans Walter, Vice Chair
Architectural Board of Review

#20348/20099 - 16600-16614 Chagrin Boulevard - Resubmission: Storefront.

L. Reed Carpenter, architect, said after extensive renovations, the panels above all of the storefront windows are currently flat and clean. They would prefer not to put up the diamond details. There is one recessed entry that still has the diamond detail, as it was protected from the weather. The question is whether to remove these and have them all be flat or if the other entryway should have the diamonds added.

Mr. Neville noted the façades on each storefront are different. It is acceptable for the entries to be different.

Mr. Walter agreed.

Approved the current condition. If additional diamond detail is desired at a future date in the recessed entry, it is acceptable.

* * * *

#20335 - 3700-3704 Lee Road - Resubmission: Storefront.

Mr. Feinstein said this storefront was reviewed at a previous meeting. There were questions regarding the proposed planter wall details.

Elicia Gibbon, architect, said there is integrated lighting added in the trellis awning, and LED strip lighting at the back flange of the screen wall supports. The screen wall will now be floating 4 inches off the sidewalk. The challenge to the planter design on the Nicholas Road side is to build around the existing stair unit. The planter will have a 6ml liner with stick built construction. The roots should not cause a problem as only low plants will be used here, under the windows. Where the container shape is more regular adjacent to the entry door, a PVC container will line the planter and larger plants can be used there.

Mr. Neville noted there needs to be something to resist the horizontal pressure and chance for bowing. Also, drainage will be needed.

There was discussion regarding the screen wall construction and elements.

Approved.

* * * *

There being no further business, the meeting was adjourned at 11:00 a.m. The next meeting will be January 6, 2020.

Sandra Madison, Chair
Architectural Board of Review

Hans Walter, Vice Chair
Architectural Board of Review

December 20, 2019

City of Shaker Heights Planning Commission
and Board of Zoning Appeals
3400 Lee Road
Shaker Heights, OH 44120

RE: Local Sign District request for 3700 Lee Road

Members of the City Planning Commission and Board of Zoning Appeals:

As Managing Member for the entity, Shaker REDO LLC, that owns the property at 3700 Lee Road, Shaker Heights Development Corporation (SHDC) respectfully requests:

1. A Conditional Use Permit to establish a Local Sign District for 3700, 3702, and 3704 Lee Road (PPN: 735-23-030).
2. A Zoning Code Variance to Section 1250 General Signage, specifically Section E of 1250.09 as it relates to projecting signs extending above the cornice.

In a comprehensive review of the property, which includes three storefronts across two distinct buildings on a single parcel, SHDC proposes that the local sign district allow:

Building #1 - 3700 Lee

- Primary signage shall be installed as wall signs (one on each side of this corner building on the wood panels adjacent to the windows). Signage may not be installed on the trellis awning.
- Secondary signage: In order to allow for a projecting blade sign, a local sign district is required by the zoning code (Section 1250.09). A projecting blade sign for this location is necessary for vehicular traffic to see the business before they have passed it and for pedestrians to have a sightline to their destination. The current sign pattern on Lee Road is already perpendicular to the street in the form of north/south wall and monument signs. Projecting signs are more suited to the urban fabric, particularly given the shallow commercial lot depth on the east side of the street that requires front setbacks to be used for parking, making monument signs impossible. The west side of the street has numerous monument signs in place (ex. Avis, Firestone, and SalonPlace), a clear indication that signage perpendicular to the street is desired and useful.
 - A blade sign (including decorative bracket) will project no more than 7' from the building (current code allows no more than 3' projection, Van Aken District Local Sign Code allows 7', Juma Gallery blade sign extends 4'). The current design plan, previously approved by the Architecture Board of Review (ABR), requires that the sign project 2'-9" from the face of the building and is integrated into the building as an architectural element.
 - The bottom of the blade sign must be 9' from the ground (current code requires 8', Van Aken requires 12', Cleveland requires 10').
 - Blade signs must be double faced so that they are visible to customers traveling north and south on Lee Road.
 - 20 square feet maximum per side (current code maximum is 6 square feet, Van Aken District allows 10 square feet per side for primary signs and 8 square feet for secondary signs)

- Zoning Code Variance Request: In Section E of Section 1250.09 and general Section 1250, regulations affecting projecting signs indicates that a projecting sign may not extend above the cornice. However, for 3700 Lee Road, a variance is requested to allow the proposed design to extend 5'-2" above the cornice. For future signage in this location, the sign may not extend more than 35% above the dominant coping line of the building. In the proposed design, approved by ABR, the signage is an integrated architectural element and is an important feature of the overall design.

Building #2 - 3702 & 3704 Lee

- Primary signage: Individual aluminum (color and material) letters to be located along the front edge of the trellis awning, no internal illumination of letters or box / cabinet signs permitted. Exterior lighting is provided above the trellis awning. This design plan has been approved by ABR.
- Secondary signage: interior applied window graphics (up to two) are allowed on up to 25% of window space with a maximum eight square feet total.

Portable Signage for 3700-3704 Lee

- To enhance the pedestrian experience and utilize the wide sidewalk and urban scale of the buildings in this location, portable signage will be allowed.
 - One sign per business.
 - Signs must be located such that there are five feet of unobstructed sidewalk between the outer edge of the sign and the edge of the pavement/curb/building.
 - The maximum size of an A-frame sign is 32" wide and 36" tall.
 - All portable signs must be taken inside during non-business hours.
 - Portable signs must be weighted and/or designed to resist wind gusts.
 - Portable signs must be professional quality (made of durable, weather-resistant materials) and customized for the business. Portable signage cannot include marquee style signs with individual letters.
 - Items such as flags or balloons may not be attached to portable signs.

The two buildings and three storefronts at 3700 Lee Road offer a unique opportunity to enhance the design quality of the commercial corridor and meet the needs of the growing business community. The comprehensive improvements proposed to the storefronts at 3700-3704 Lee signify a forward-looking change to meet the needs of today's businesses and the investment reinforces that the Lee Road corridor is an important and unique part of our business community, differentiating itself from the Van Aken District, Larchmere, Fairmount Circle and the Chagrin-Lee retail area.

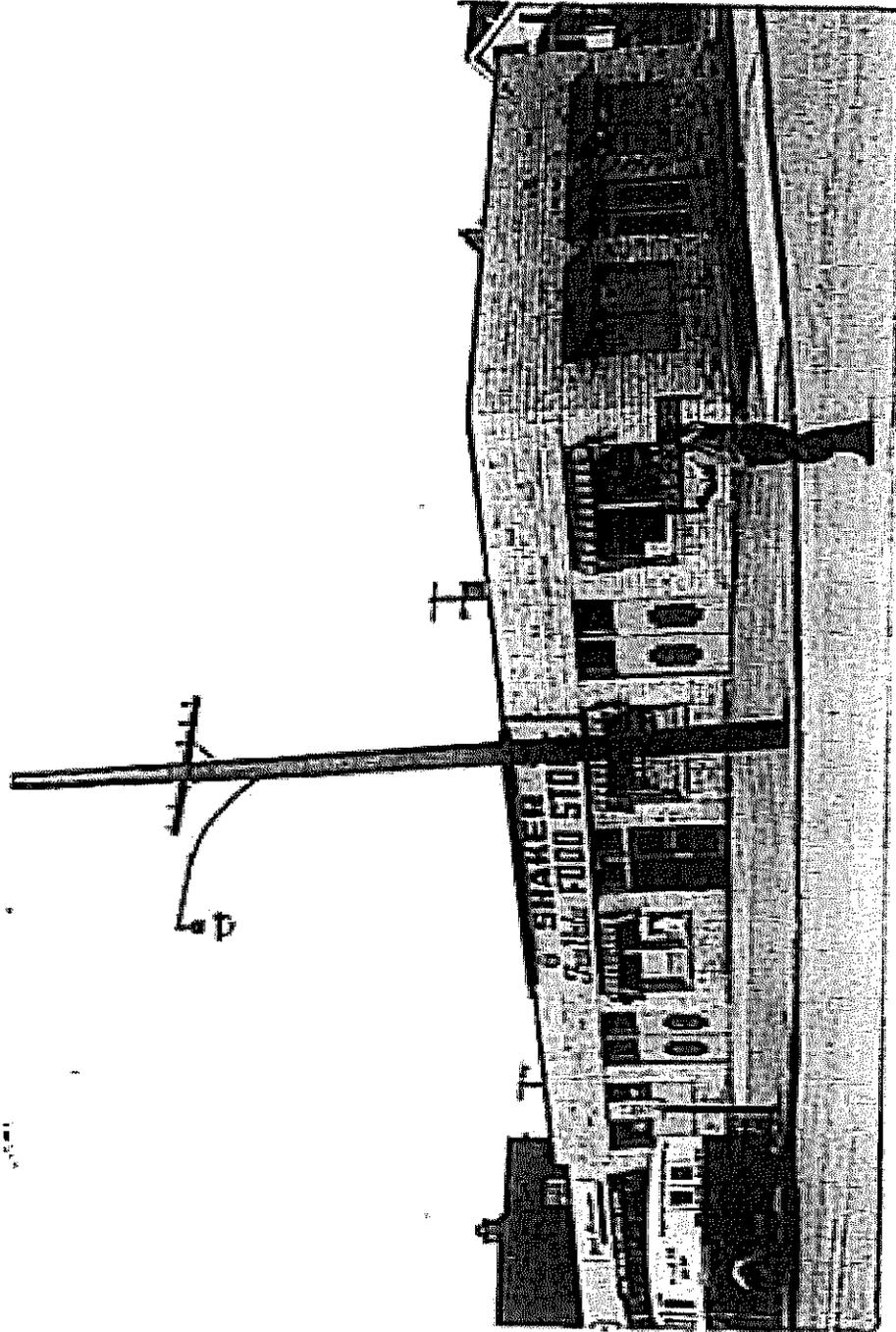
Respectfully,



Nick Fedor
Executive Director
Shaker Heights Development Corporation

JUN

60



Lee Road
CONCEPT DESIGN

3700-3704 Lee Road, Shaker Heights, OH | Shaker Development Corporation

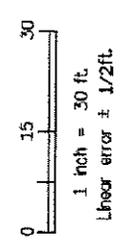
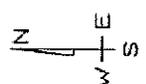
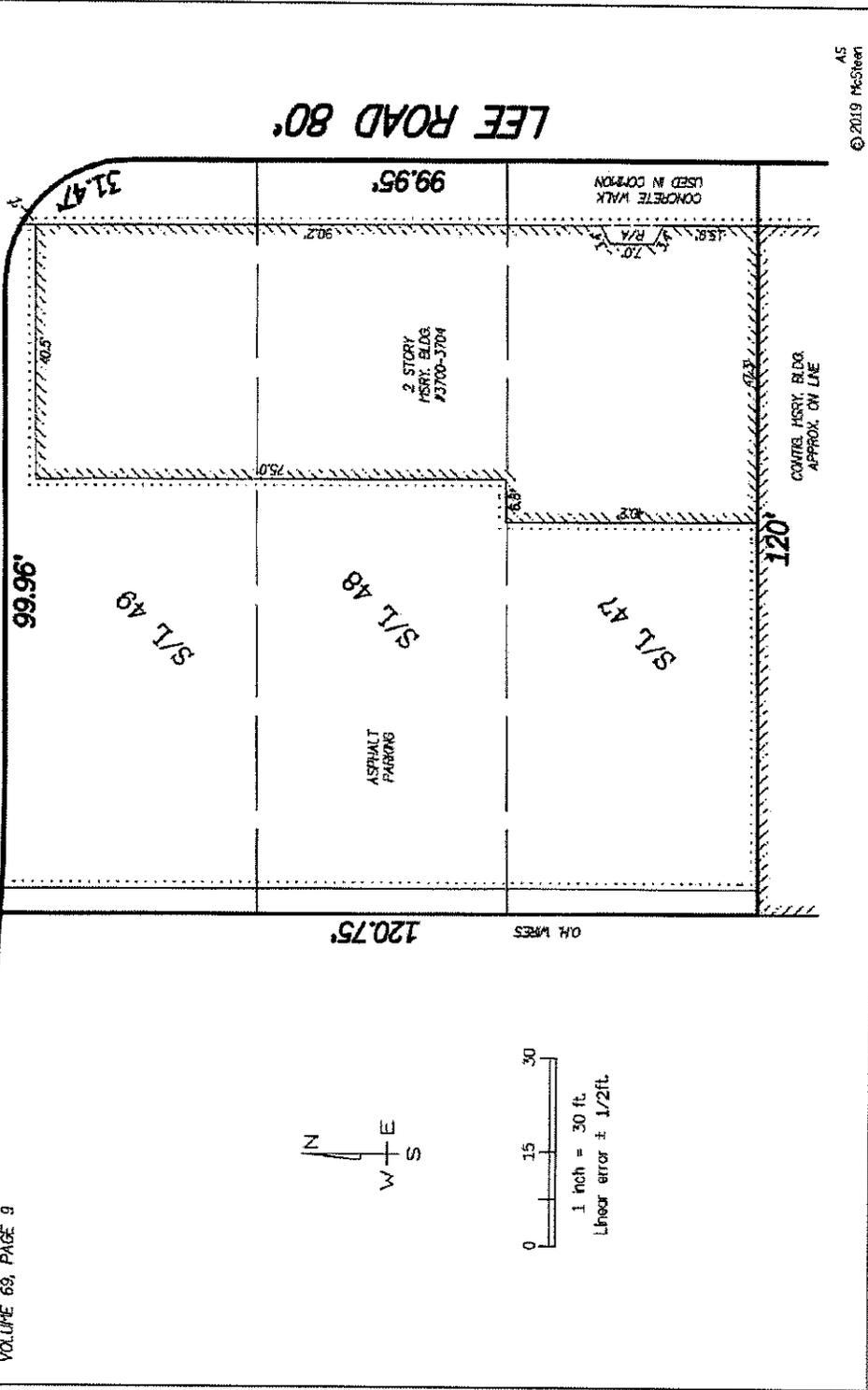
1960 IMAGE

PAGE DS1 | Dec. 2, 2019

GIBBON
ARCHITECTURAL

NO ENCROACHMENTS
 CITY OF SHAKER HEIGHTS, COUNTY OF CUYAHOGA
 A. LANESE SUBDIVISION
 VOLUME 69, PAGE 9

NICHOLAS ROAD 40'



FRONTAGE
 3700: 115'-6"
 3702: 20'-0"
 3704: 20'-0"

AS
 © 2019 McSteen

Lee Road
 CONCEPT DESIGN

3700-3704 Lee Road, Shaker Heights, OH | Shaker Development Corporation

SITE SURVEY





Lee Road
CONCEPT DESIGN

3700-3704 Lee Road, Shaker Heights, OH | Shaker Development Corporation

VIEW LOOKING SOUTH

PAGE D54 | Dec. 2, 2019

GIBBON
ARCHITECTURE



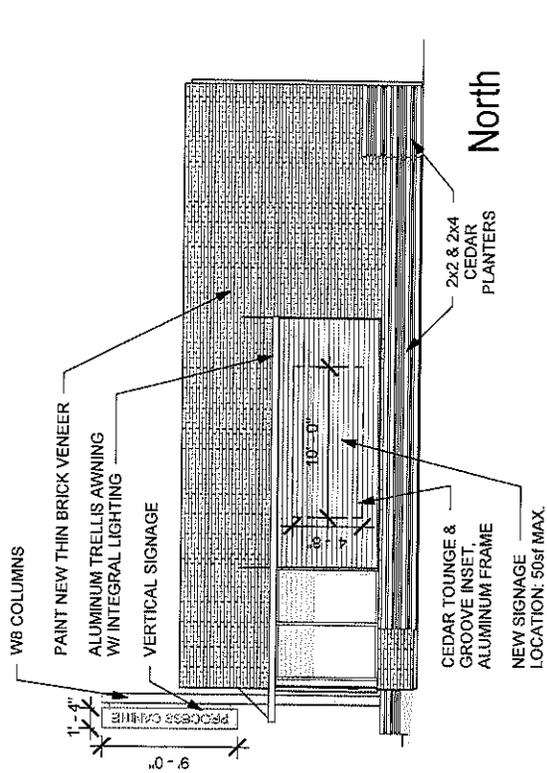
Lee Road
CONCEPT DESIGN

3700-3704 Lee Road, Shaker Heights, OH | Shaker Development Corporation

EAST ELEVATION

PAGE D55 | Dec. 2, 2019

GIBBON
ARCHITECTURE



North

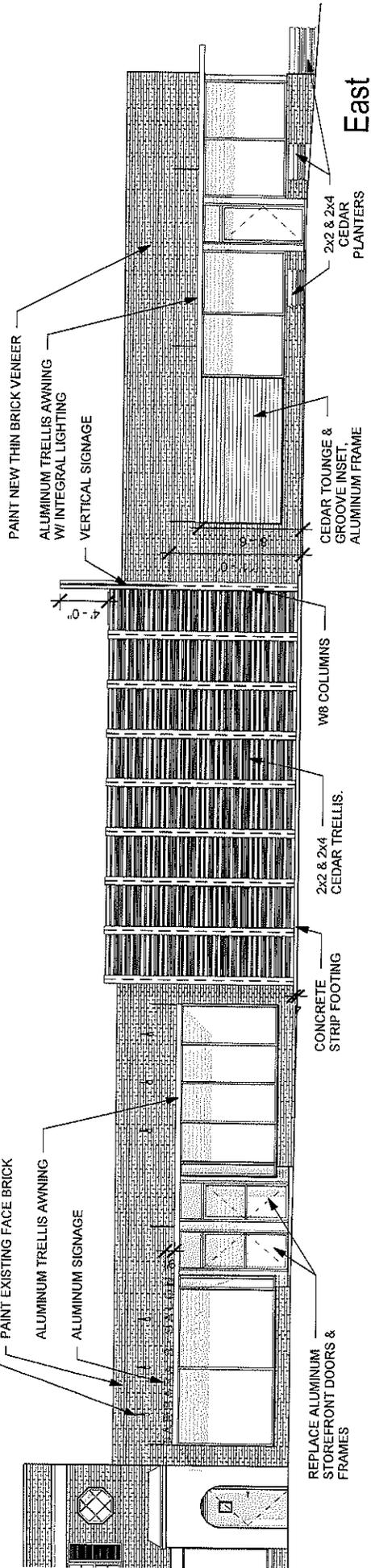
ALUMINUM GOOSENECK FIXTURES, TYP.

PAINT EXISTING FACE BRICK

ALUMINUM TRELLIS AWNING

ALUMINUM SIGNAGE

REPLACE ALUMINUM STOREFRONT DOORS & FRAMES



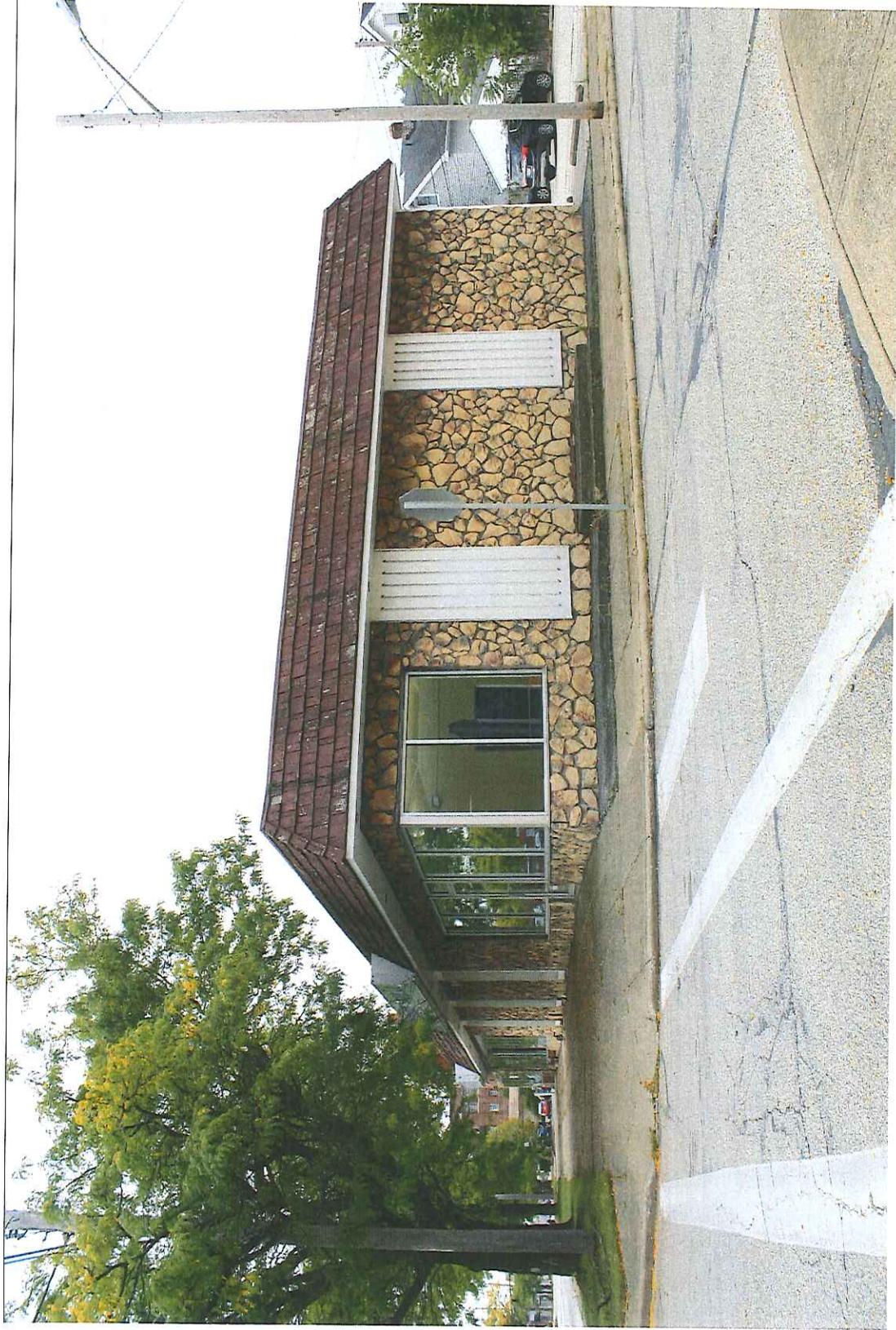
East

Lee Road
CONCEPT DESIGN

3700-3704 Lee Road, Shaker Heights, OH | Shaker Development Corporation

ELEVATIONS
SCALE: 1/8" = 1'-0"





Lee Road
CONCEPT DESIGN

3700-3704 Lee Road, Shaker Heights, OH | Shaker Development Corporation

EXISTING VIEW

PAGE DS9 | Dec. 2, 2019





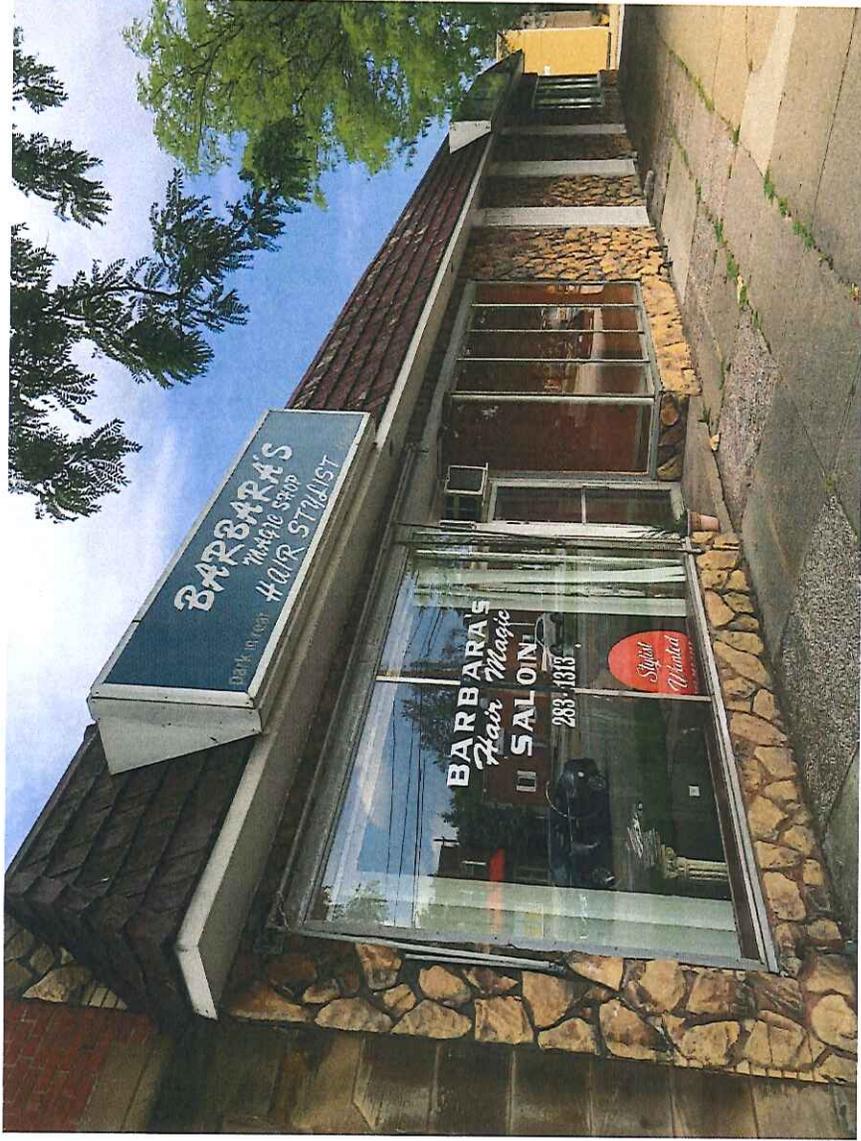
Lee Road
CONCEPT DESIGN

3700-3704 Lee Road, Shaker Heights, OH | Shaker Development Corporation

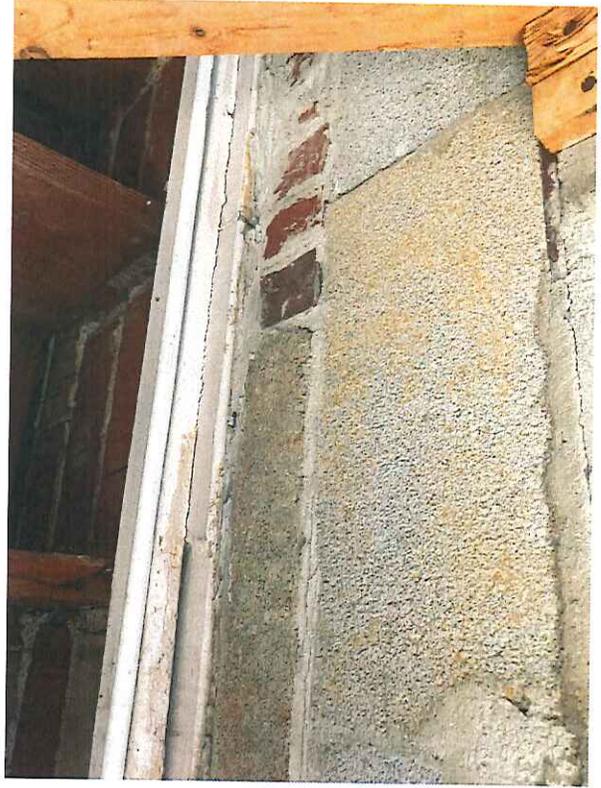
EXISTING VIEW

PAGE DS10 | Dec. 2, 2019

GIBBON
ARCHITECTURE



LOOKING NORTH. EXPOSED EXISTING FACE BRICK IN MANSARD CORNER



STRUCTURAL CLAY TILE: INFILL FROM INTERIOR

Lee Road
CONCEPT DESIGN

3700-3704 Lee Road, Shaker Heights, OH | Shaker Development Corporation

EXISTING VIEWS

PAGEDS11 | Dec. 2, 2019





Lee Road
CONCEPT DESIGN

3700-3704 Lee Road, Shaker Heights, OH | Shaker Development Corporation

LOCAL SIGNAGE



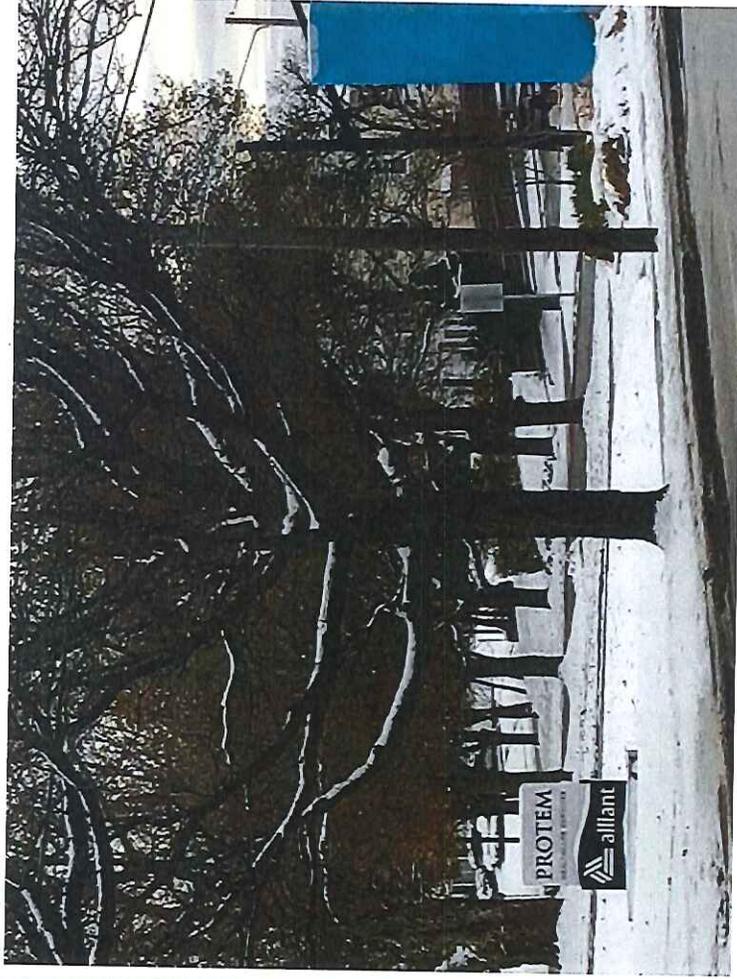
Lee Road
CONCEPT DESIGN

3700-3704 Lee Road, Shaker Heights, OH | Shaker Development Corporation

LOCAL SIGNAGE

PAGE DS16 | Dec. 20, 2019





Lee Road CONCEPT DESIGN

3700-3704 Lee Road, Shaker Heights, OH | Shaker Development Corporation

LOCAL SIGNAGE

PAGED513 | Dec. 20, 2019



Lee Road
CONCEPT DESIGN

3700-3704 Lee Road, Shaker Heights, OH | Shaker Development Corporation

LOCAL SIGNAGE

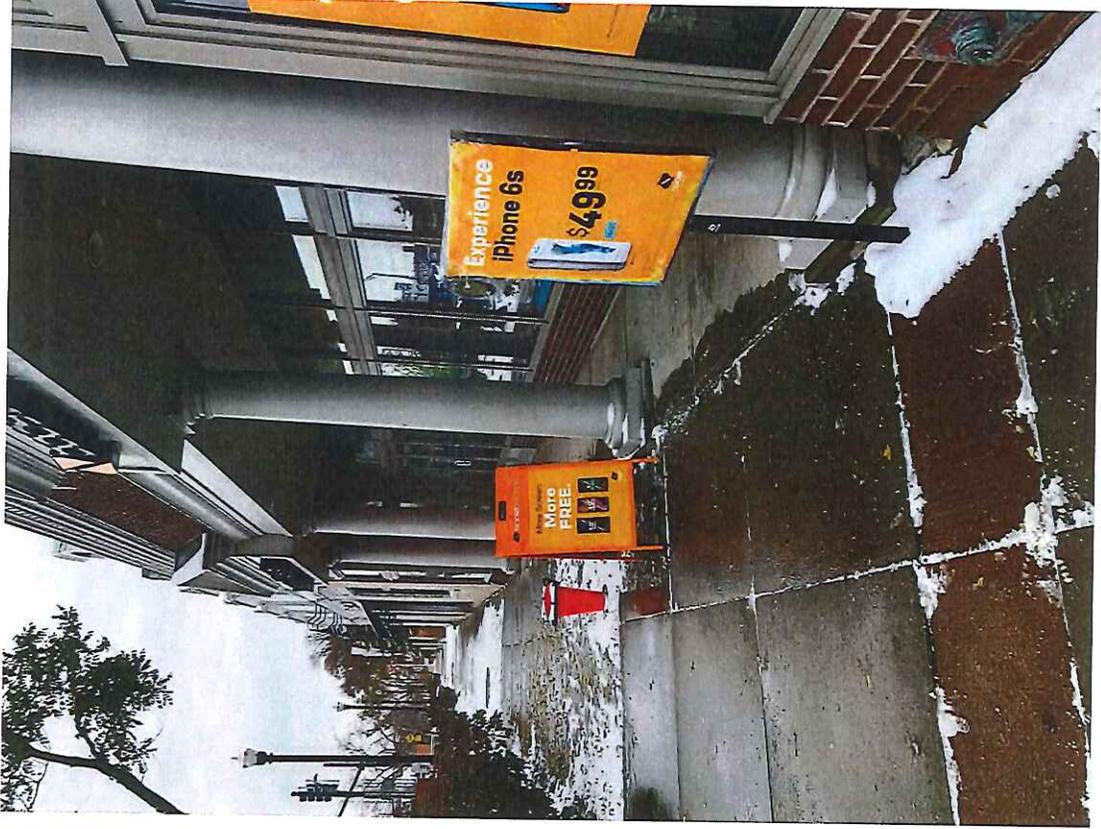
PAGES14 | Dec. 20, 2019

GIBBON
ARCHITECTURE



Lee Road
CONCEPT DESIGN

3700-3704 Lee Road, Shaker Heights, OH | Shaker Development Corporation



LOCAL SIGNAGE



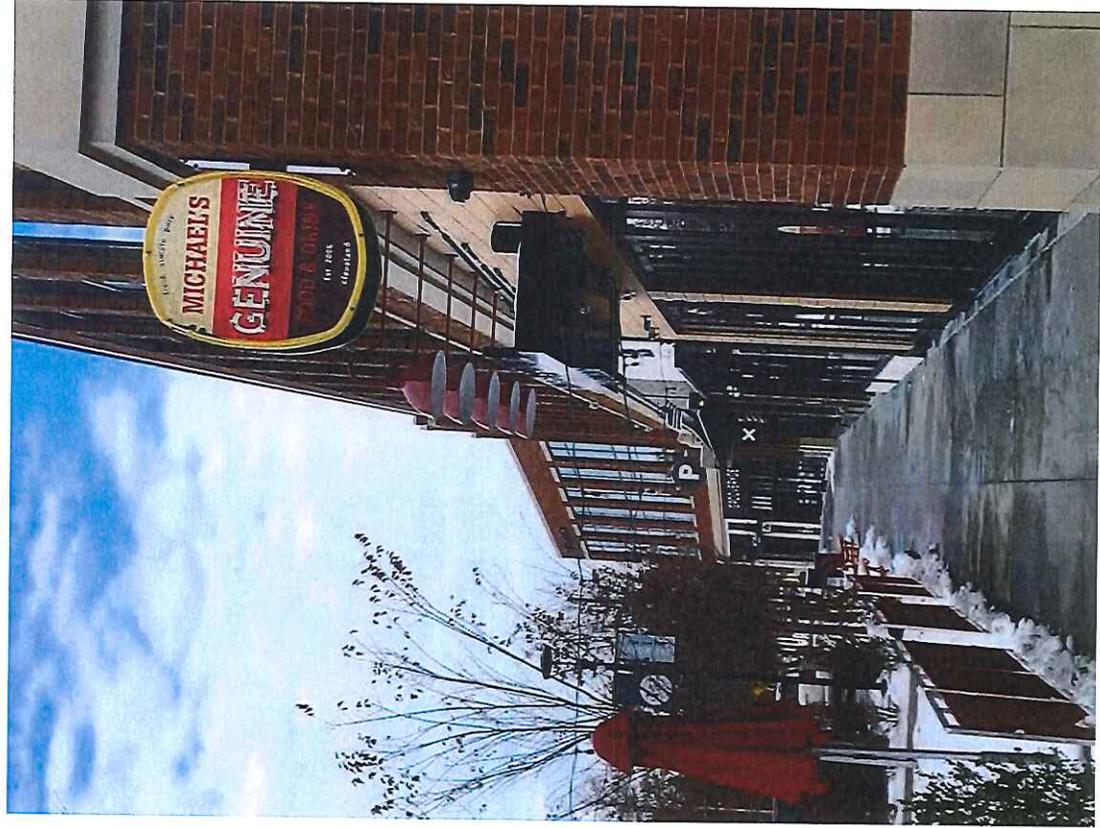
Lee Road
CONCEPT DESIGN

3700-3704 Lee Road, Shaker Heights, OH | Shaker Development Corporation



LOCAL SIGNAGE

PAGE DS18 | Dec. 20, 2019



Lee Road
CONCEPT DESIGN

3700-3704 Lee Road, Shaker Heights, OH | Shaker Development Corporation

LOCAL SIGNAGE

Applicant's Name: Nature Center at Shaker Lakes Application No: 7046

Property Address: 2600 Shaker Boulevard Parcel No: _____

City: Shaker Heights OH Zip: 44120

Applicant's Address Same as above Phone No: 216-321-1869

City: _____ State: _____ Zip: _____

Property Owner (if other than applicant) _____

Property Owner's Address (if different) _____

City: _____ State: _____ Zip: _____

Zoning District: Park & Recreation Present Use: Nature Center

Proposed Use: Maintain existing; enhancing existing trail and amenities for continued public access

E-Mail Address: carlson@shakerlakes.org, jmccue@envdesigngroup.com, cstephenson@cms-ors.com

CHECK INFORMATION ACCOMPANYING THIS APPLICATION

- Site Plan (to scale)
- Detail Drawings
- Landscape Plan
- Narrative Description
- Proof of Control (Option Lease Ownership)
- Product Information, etc.
- Other Descriptions or Materials as Appropriate
- Photographs

CHECK SPECIFIC ACTION REQUIRED

BZA

- 1. VARIANCE (requires public hearing)
 - Sign regulations
 - Height Regulations
 - Area and Yard Regulations
 - Fence Regulations
 - Off-street Parking

2. OTHER APPROVALS

- Appeal
- Other: _____

CPC

- Conditional Use Permit (requires public hearing)
- Planned Unit Development
- Site Plan Review
- Resubdivision of Land
- Amendment to Zoning Map or Ordinance
- Improvements to Public Land
- Other: _____

Summarize special conditions, practical difficulty or hardships imposed on the owner of the premises if strict letter of the ordinance were to be enforced:

See attached letter.

To the best of my knowledge, the foregoing statements in this application are true and correct.

SIGNATURE: Kay Carter

12/18/2019

DATE:



SHAKER HEIGHTS

NOTICE OF PUBLIC HEARING

Notice is hereby given that application is being made by Jodi McCue, Environmental Design Group, on behalf of the Nature Center at Shaker Lakes, 2600 South Park Boulevard, to the City Planning Commission for improvements to public land in order to replace the Stearn's Trail. The Nature Center is reconstructing the trail with essentially the same layout. This includes sections of wood boardwalk, bridges, benches, platforms and a tree house. A new trail entry feature is proposed in the Nature Center parking lot as well as new entries at both South Park and West Park Boulevards. The two West Park entries will be connected with a 3 foot wide mulch path that extends to the Shaker Boulevard sidewalk. Council approval of improvements to public land is required.

The City Planning Commission will hold a Public Hearing on said application on **Tuesday, January 7, 2020 at 7:00 p.m.** in the Council Chamber of City Hall, 3400 Lee Road, Shaker Heights, Ohio. Interested parties may appear at the Public Hearing and be heard with respect to this application.

Plans are available for public review in the Planning Department during City Hall hours, and online at <https://www.shakeronline.com/AgendaCenter>. Online plans and information are posted the Friday before the meeting date.

Dan Feinstein
Secretary
City Planning Commission

To request an accommodation for a person with disability, call the City's ADA Coordinator at 216/491-1440, or Ohio Relay Service at 711 for TTY users.

**The City of Shaker Heights
Board of Zoning Appeals and City Planning Commission**

STAFF REPORT

ADDRESS:

2600 South Park Boulevard
Shaker Lakes Nature Center
Case#: 2046

HEARING DATE:

January 7, 2020

SUMMARY:

Improvements to public land in order to replace the Stearn's Trail on existing Nature Center park land.

STAFF POSITION:

- Staff suggests approval based on:
 - These renovations match the All People's Trail, which was renovated last year.
 - The existing trail system is a highly used trail at the Nature Center.
 - The trail is being replaced in essentially the same location.
 - Improved trail amenities and access benefits the general health and welfare of residents.
 - Portions of the trail will be ADA accessible.
 - The essential character of the neighborhood is not negatively affected since the improvements are replacing existing items and are set far away from property lines, decreasing visibility.

ACTION:

- Improvements to public land to construct trail improvements.

FACTS:

1. The Nature Center is reconstructing the existing Stearn's Trail in essentially the same layout.
2. The trail improvements include new wood boardwalk sections, replacement bridges, benches, platforms and a tree house.
3. A trailhead feature and pergola is proposed in the rear corner of the parking lot with new trail entries on South Park and West Park Boulevards.
4. The South Park entry is proposed to be connected to the sidewalk with a new concrete walk.
5. The two West Park entries are proposed to be connected with a new 3-foot wide mulch path that also extends south to the Shaker Boulevard sidewalk.
6. The City Planning Commission reviews improvements to public land.

CODE SECTIONS:

1. 1212.03 A 2 – City Planning Commission reviews improvements to public land.

OTHER ISSUES:

1. The trailheads on South Park and West Park Boulevards are being replaced in the same locations. A concrete walk is proposed to connect the South Park Boulevard entry to the sidewalk.
2. The two West Park Boulevard entries are proposed to have a mulch path leading to the street. A new mulch path is proposed to connect the two entries and extend south to the Shaker Boulevard sidewalk at the corner with West Park Boulevard.

**The City of Shaker Heights
Board of Zoning Appeals and City Planning Commission**

STAFF REPORT

ADDRESS:

2600 South Park Boulevard
Shaker Lakes Nature Center
Case#: 2046

HEARING DATE:

January 7, 2020

OTHER ISSUES (continued):

3. A new storage shed and screen fence for the dumpster are proposed to be moved to the rear corner of the parking lot. The shed has not been designed yet but will require Architectural Board of Review design review.
4. The tree house is set several hundred feet from a property line but is not yet designed.
5. The pergola and platform areas provide additional gathering and teaching spaces on the trail system.
6. Two new monument signs are shown at the corners of Shaker, South Park, and North Park Boulevards. No design or details have been submitted, so they are not part of this proposal.

PRECEDENT:

1. Shaker Lakes Nature Center – All People's Trail replacement including extensive boardwalk, platforms, entry, and gazebo.
2. Shaker Lakes Nature Center – building addition and parking lot reconfiguration.
3. Horseshoe Lake Park – renovation of park including paths, shelters and various play structures for different age groups.
4. Lake to Lakes Trail – a multi-purpose trail on Shaker Lakes parkland.
5. Shaker Median Trail – a multi-purpose trail from Warrensville Center Road to Sulgrave Road in the Shaker Boulevard median.
6. Thornton Park – renovation of park with play equipment, pool, new skateboard park and new basketball courts.



December 20, 2019
Mr. Dan Feinstein
Senior Planner
City of Shaker Heights
3400 Lee Road
Shaker Heights, OH 44120

Dear Mr. Feinstein:

**Re: Nature Center at Shaker Lakes — Stearns Trail
Improvements
2600 South Park Boulevard, Shaker Heights, OH**

Enclosed is our submission for planning commission approval. We would like to be placed on the agenda for the Planning Commission meeting scheduled for January 7, 2020. As requested, we have included the following items:

- Drawings
- Project description (below)
- Photographs of both existing site conditions and proposed elements/materials
- Fee of \$150

Project Description

The Stearns Trail is an existing trail with both at grade and boardwalk trail components that provide access through a marsh (wetland) area and over the South Branch of the Doan Brook via two bridges within the Nature Center at Shaker Lakes (NCSL). This trail connects to the Nature Center parking lot and entry drive as well as to the surrounding neighborhoods along both South Park Boulevards and West Park Boulevard. The trail is frequented by students from the area, including Cleveland Public Schools, as part of the educational mission of the NCSL.

The Stearns Trail needs repair/replacement. The improvements that are scheduled to begin in April 2020, include the removal and replacement of the bridges and boardwalks, topdressing and realignment of the trail system for better circulation. The new bridges and boardwalks will be stick-built wood system with wooden piles, with decking (treated southern yellow pine.) The railing system for either option will match the first and second phases of improvements

The community impact people.

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Cleveland, Ohio 44115

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Columbus, Ohio 43215

envdesigngroup.com

at the Amphitheater and All People's Trail which were completed in the past two years.

The trail has a series of nodes along the path which include a trailhead pergola, similar to the All People's Trailhead, a Group Deck, a Nature Experience Area, a Bridge Deck, and Neighborhood Trailhead Entries.

The proposed Stearns Trailhead is more prominent and will connect to the All People's Trail. The trailhead is comprised of a pergola that will be composite wood (azek) painted brown to match the pavilion and All People's Trailhead pergola, a small paver plaza area for gathering groups prior to heading out on the trail, and site amenities including a cast concrete bench and trash receptacles. A future phase will include a map and donor recognition/artwork.

The Nature Experience Area and Group Deck is the first node encountered along the trail. The Group Deck provides a place to sit on a boardwalk platform with backless benches while watching children play in the adjacent Nature Experience Area. The Nature Experience area will invite children to explore natural elements like the downed oak tree from this summer's microburst and other natural materials.

The Mini Marsh Deck is a boardwalk platform that allows visitors to step down off the trail and into the marsh environment. Students can also access the marsh from here to obtain soil samples. Built in seating allows for classroom space or hikers to rest.

The Bridge Deck is also an outdoor classroom space with built in benches. The bench orientation has been shifted to face the stream.

Neighborhood trailheads have been proposed at both the South Park and West Park Boulevard entrances of Stearns Trail. The trailheads are comprised of an exposed aggregate concrete walk, cast sandstone bench, bike rack, and trash/recycling receptacles.

There are two existing bridges that will provide access over the South Branch of the Doan Brook. Both bridges will be replaced in similar design (wood framing) to the All People's Trail bridges. Steps lead up to both sides of the bridges.

The Tree House structure will be a Tree House Master's Design, but will be implemented by a local carpenter/contractor. The Tree House will be an elevated room used for education.

Lighting is not currently part of this project.

The community impact people.

Dan Feinstein
City of Shaker Heights, Planning Department
December 20, 2019
Page 3

Please accept this submission and contact me if you have any questions.

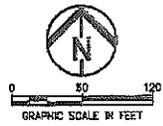
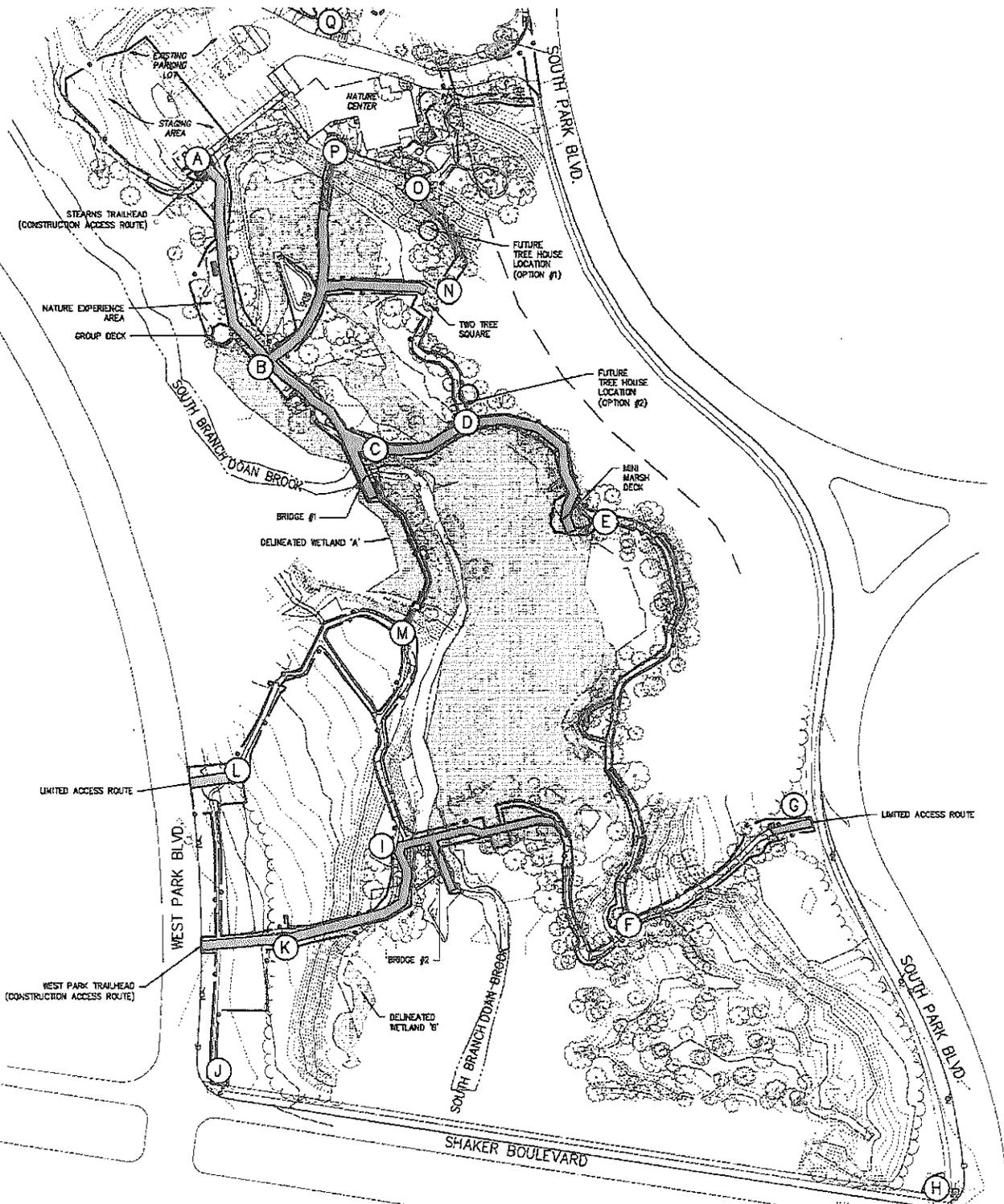
Sincerely,

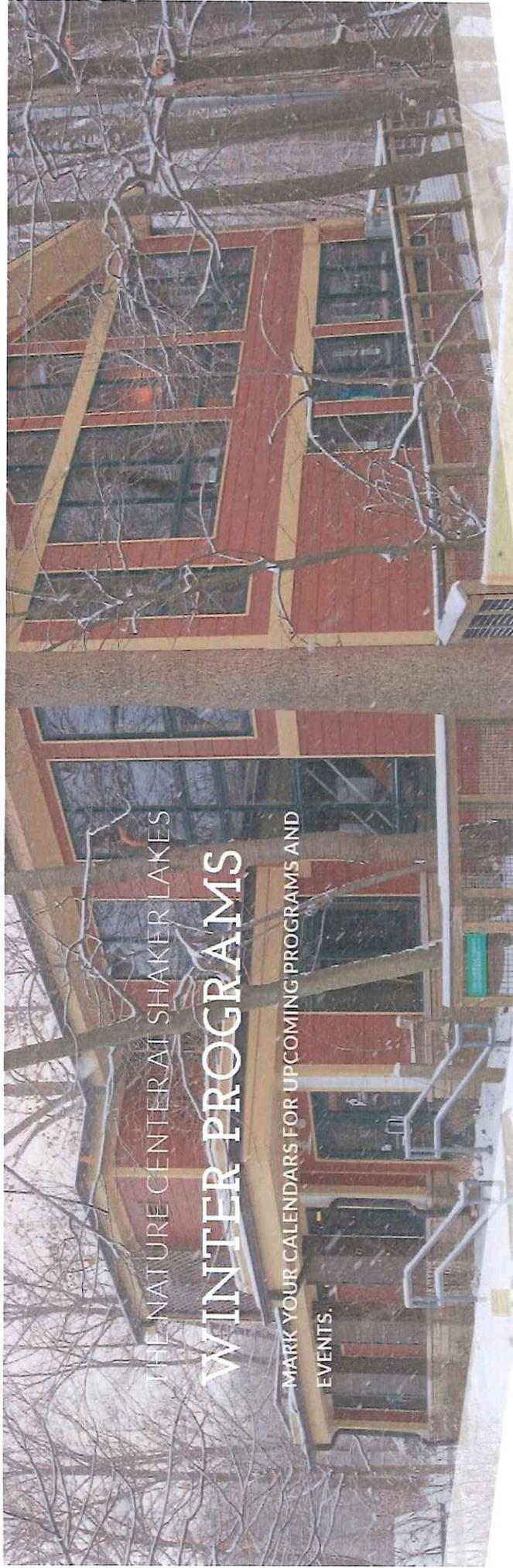


Jodi McCue, PLA, ASLA
Senior Landscape Architect

cc: Kay Carlson, Nature Center at Shaker Lakes
Tom Hornberger, Nature Center at Shaker Lakes
Chuck Stephenson, CMS Owner's Representative Services, LLC
Jodi McCue, Environmental Design Group, LLC

The community impact people.



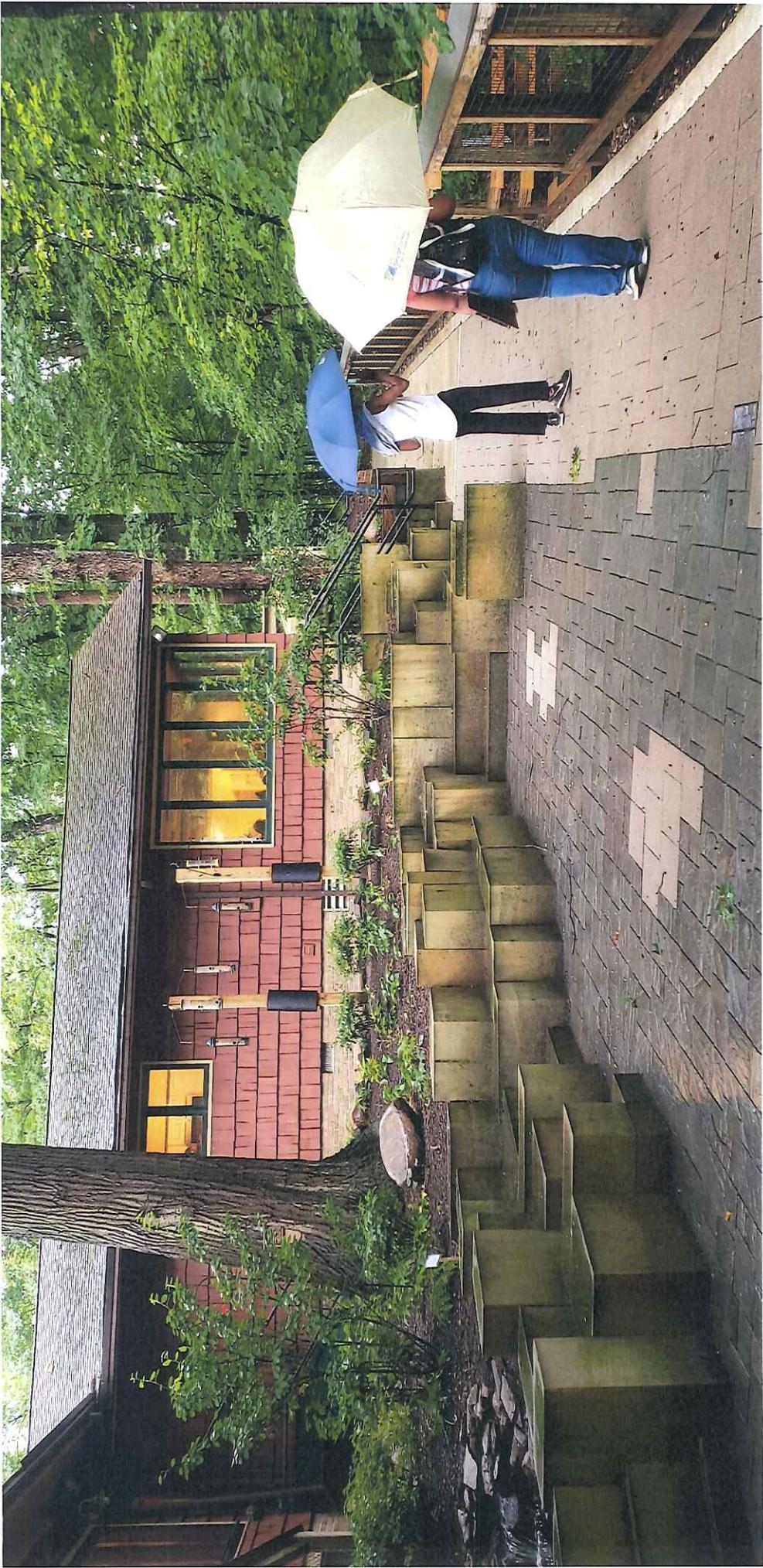


THE NATURE CENTER AT SHAKER LAKES

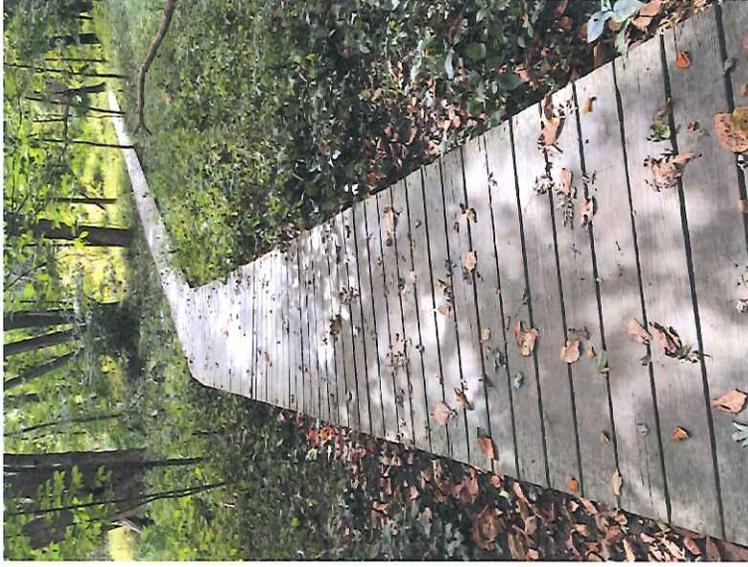
WINTER PROGRAMS

MARK YOUR CALENDARS FOR UPCOMING PROGRAMS AND
EVENTS.

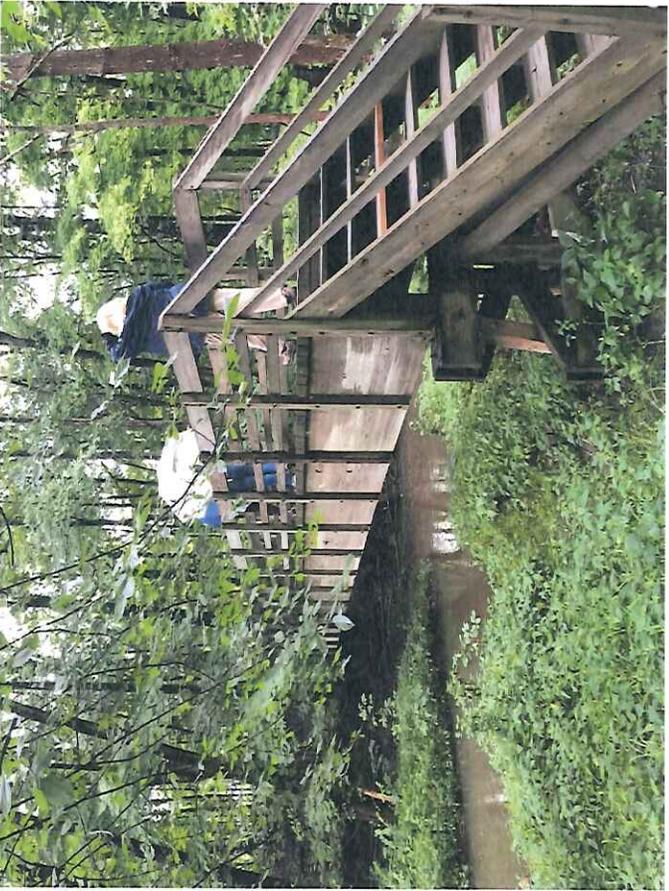
Existing Nature Center



Existing Nature Center and Lavelle Family Amphitheater



Existing Trail and Boardwalk System



Existing Bridges



Existing Stearns Trailhead



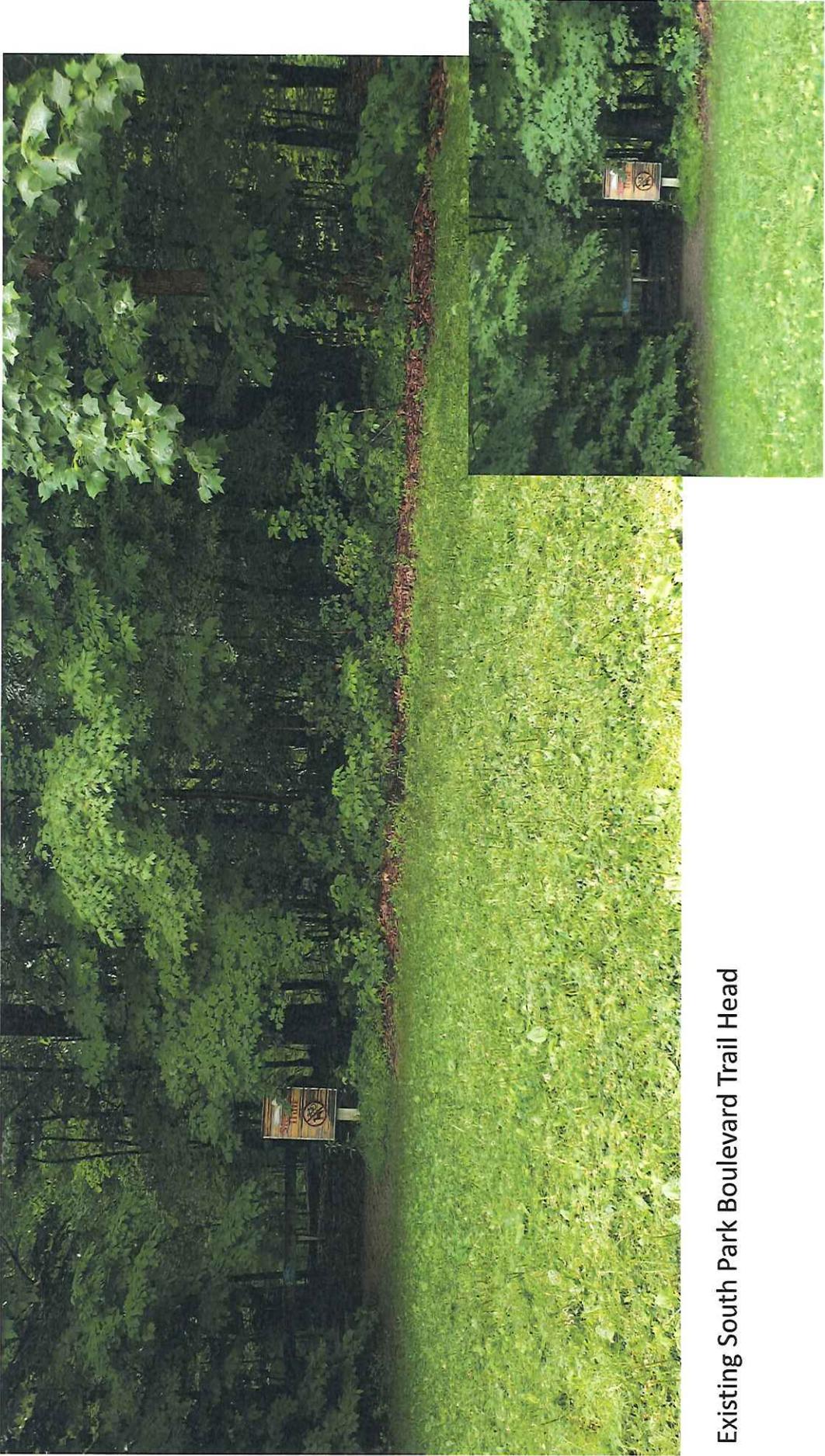
Existing Group Deck



Existing Two Tree Square



Existing Bridge Deck



Existing South Park Boulevard Trail Head

Existing West Park Boulevard Trail Head





ENHANCING
YOUR OUTDOOR
CLASSROOM
CAMPAIGN for
THE NATURE CENTER
at SHAKER LAKES

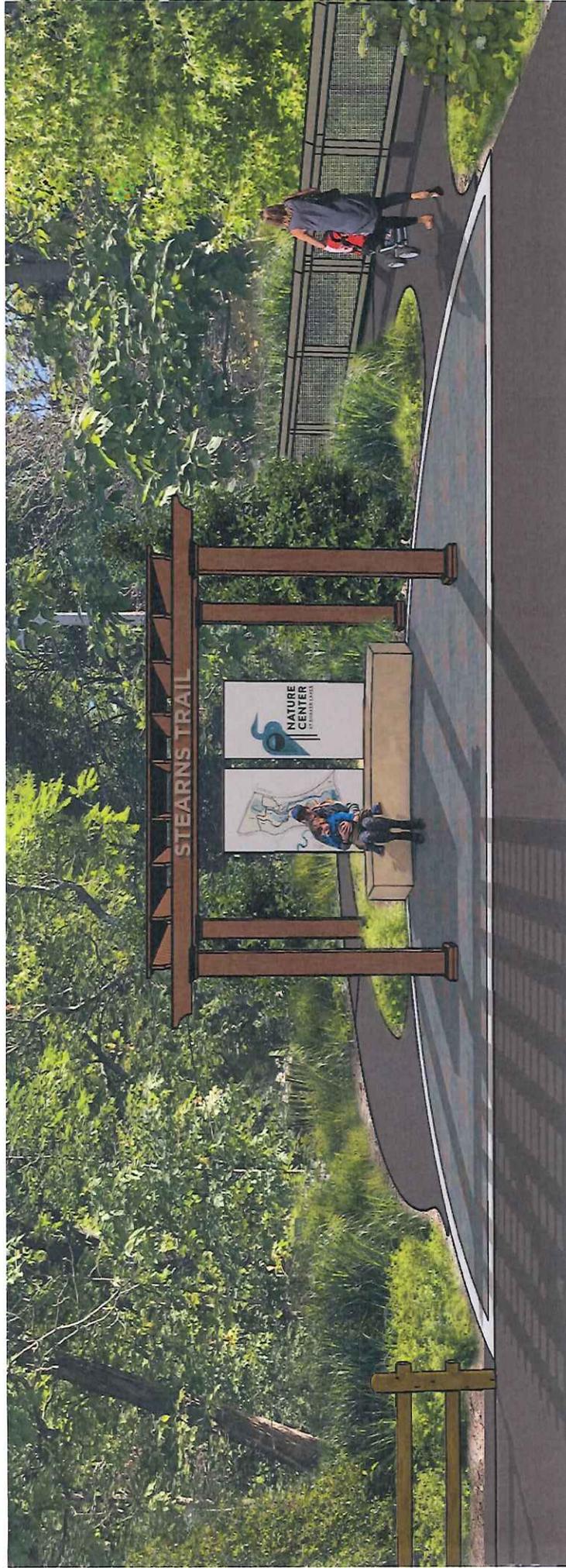


NATURE CENTER
AT SHAKER LAKES

Conserve. Connect. Inspire.

STEARNS TRAIL

Stearns Trailhead





ENHANCING
YOUR OUTDOOR
CLASSROOM
CAMPAIGN for
THE NATURE CENTER
of SHAKER LAKES



NATURE CENTER
AT SHAKER LAKES

Conserve. Connect. Inspire.

STEARNS TRAIL

Nature Play Area and Group Deck





ENHANCING
YOUR OUTDOOR
CLASSROOM
CAMPAIGN for
THE NATURE CENTER
of SHAKER LAKES

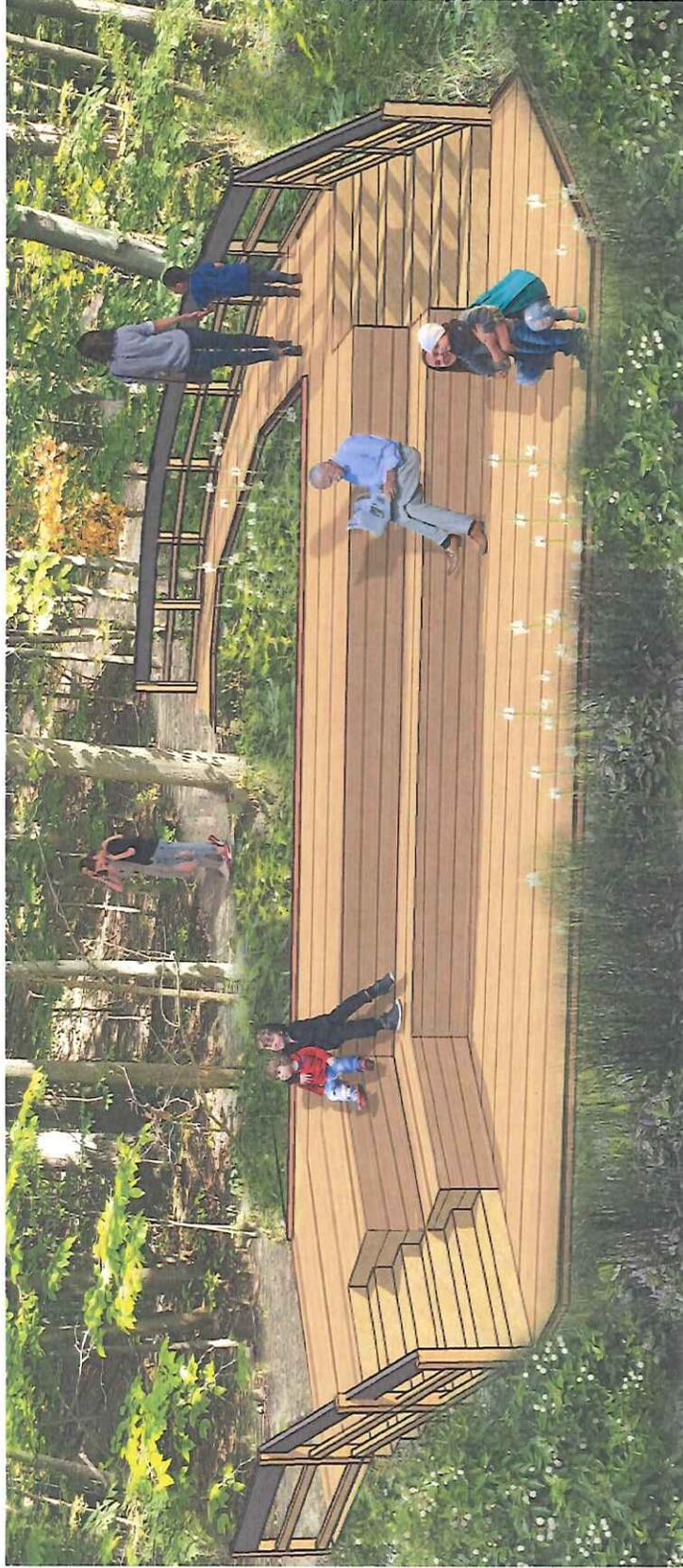


NATURE CENTER
AT SHAKER LAKES

Conserve. Connect. Inspire.

STEARNS TRAIL

Mini Marsh Deck



STEARNS TRAIL
 NATURE CENTER AT SHAKER LAKES

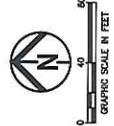
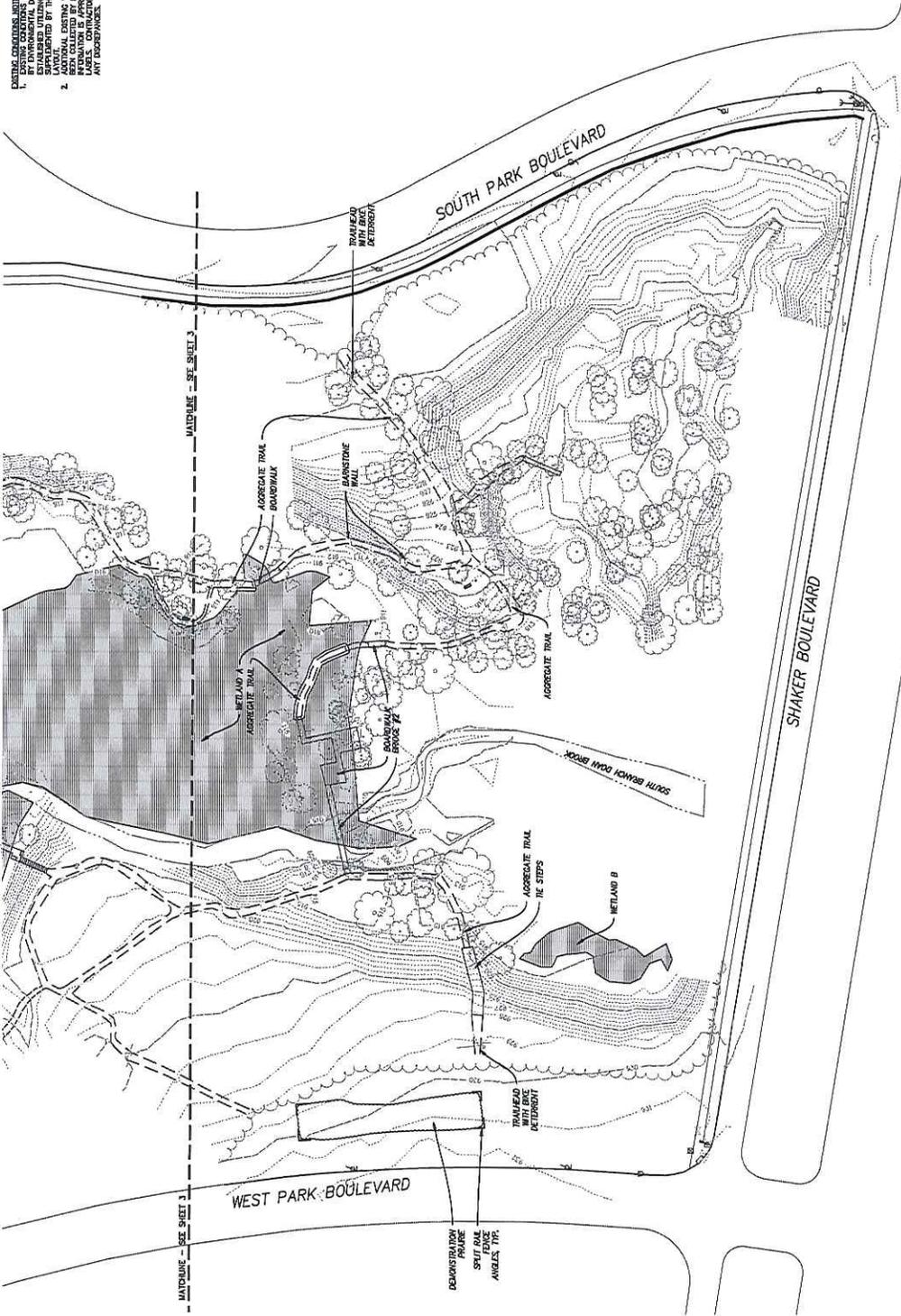
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PROJECT NO.: 16-2018-020
 DRAWN BY: BJA/JJA
 CHECKED BY: BJA
 DATE ISSUED: DECEMBER 20, 2019

EXISTING CONDITIONS
 - SOUTH
 4 OF 49

CERTAIN CONDITIONS NOTED
 1. ALL INFORMATION AND PROVISIONS PROVIDED BY FIELD SURVEY RECORDS, INCLUDING BUT NOT LIMITED TO, ELEVATIONS, DISTANCES, BEARINGS, AND OTHER DATA, ARE THE PROPERTY OF EDG AND SHALL BE KEPT CONFIDENTIAL AND NOT REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF EDG.
 2. THE INFORMATION IS APPROXIMATE AND EXCEPT AS THESE SYMBOLS WITHIN THIS DRAWING INDICATE, IT IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN THAT FOR WHICH IT WAS PREPARED. IT IS THE USER'S RESPONSIBILITY TO VERIFY EXISTING CONDITIONS AND NOTIFY EDG OF ANY DISCREPANCIES.



EXISTING CONDITIONS LEGEND

	EXISTING TREE
	EXISTING CONTOURS
	EXISTING FENCE
	EXISTING PLANTINGS
	EXISTING TRAIL EDGE
	EXISTING WETLAND
	EDGE OF WATER

STEARNS TRAIL
 NATURE CENTER AT SHAKER LAKES

100% CD REVIEW SET

PROJECT NO.:	15-001P-000
DRAWN BY:	BJT/JS
CHECKED BY:	JS
DATE ISSUED:	DECEMBER 23, 2010

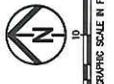
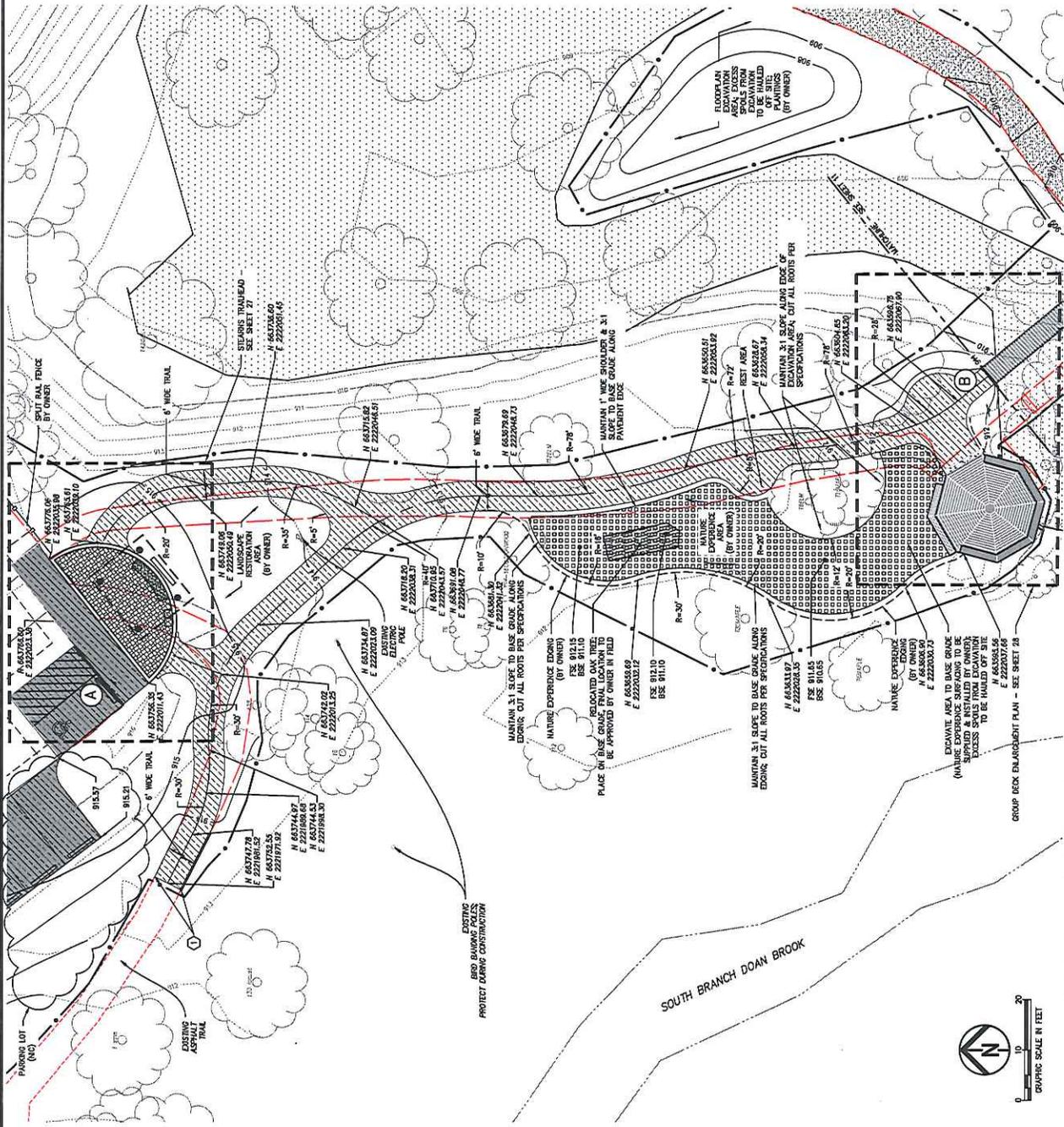
LAYOUT & GRADING NOTES:

- EXISTING TRAIL TO BE TOPDRESSED WITH A MINIMUM OF 2" LESTERITE COMPACTED TRAIL MAINTAINING POSITIVE DRAINAGE AND REPAIRING FOR COMPACTED TRAIL SURFACE TO CONTACT IMPROVING IN PLACE CONTIGUOUS TO EXISTING TRAIL.
- EXISTING TRAIL TO BE MAINTAINED TO SURROUNDING NATURAL ENVIRONMENT (TREES, WETLAND, ETC.) TO PREVENT EROSION AND TO MAINTAIN POSITIVE DRAINAGE TO ADJACENT STONE AND SPREAD ADJACENT STA. THROUGHOUT.
- ALL OF TRAIL TO BE MAINTAINED TO BE MAINTAINED TO ADJACENT STONE AND SPREAD ADJACENT STA. THROUGHOUT.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

LAYOUT & GRADING LEGEND

	EXISTING WETLAND
	EXISTING TRAIL EDGE
	EXISTING TREE TO REMAIN (6" DBH AND GREATER) TO REMAIN DURING CONSTRUCTION
	BOARDWALK WITH DIRECTION OF EDGING
	CONCRETE PAVEMENT (STANDARD)
	CONCRETE PAVEMENT (HEAVY DUTY)
	TRAIL STABILIZATION
	ASPHALT TRAIL
	VEHICULAR ASPHALT PAVING
	EXISTING AGGREGATE TRAIL TOPDRESSING, SEE NOTE THIS PAGE
	AGGREGATE TRAIL
	CONCRETE PAVERS
	BOARDWALK TO BE REDOCKED
	NATURE EXPERIENCE AREA PREPARATION FOR SIGNAGE(S)
	TRAIL EDGING
	RETAINING WALL AT TRAIL EDGE
	CONSTRUCTION LIMIT LINE
	NO LOAD/TRACKS ALLOWED
	ORDINARY HIGH WATER MARK
	THAWLOG
	NATURE EXPERIENCE EDGING
	EXISTING CONTOURS
	PROPOSED CONTOURS
	PROPOSED SPOT GRADES
	PERCENTAGE OF SLOPE
	FINAL SURFACE (BY OWNER)
	BASE SURFACE (BY OWNER)
	INVERT ELEVATION
	MEET AND MATCH EXISTING PAVEMENT FLUSH
	TOP DRESSED SURFACE TO MEET AND MATCH PROPOSED BOARDWALK TRAIL SURFACE
	CONTRACTOR TO REMOVE BRIDGE AS-BUILT GRADING AND JUDGE IF BELOW JUSTIFIED ELEVATION WHEN SETTING TRAIL/BOARDWALK GRADE

NOT FOR CONSTRUCTION



STEARNS TRAIL
 NATURE CENTER AT SHAKER LAKES

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PROJECT NO.: 16-0719-002
 DRAWN BY: RJP/PA
 CHECKED BY:
 DATE ISSUED: DECEMBER 23, 2019

TRAIL LAYOUT & GRADING D-E
 13 OF 49

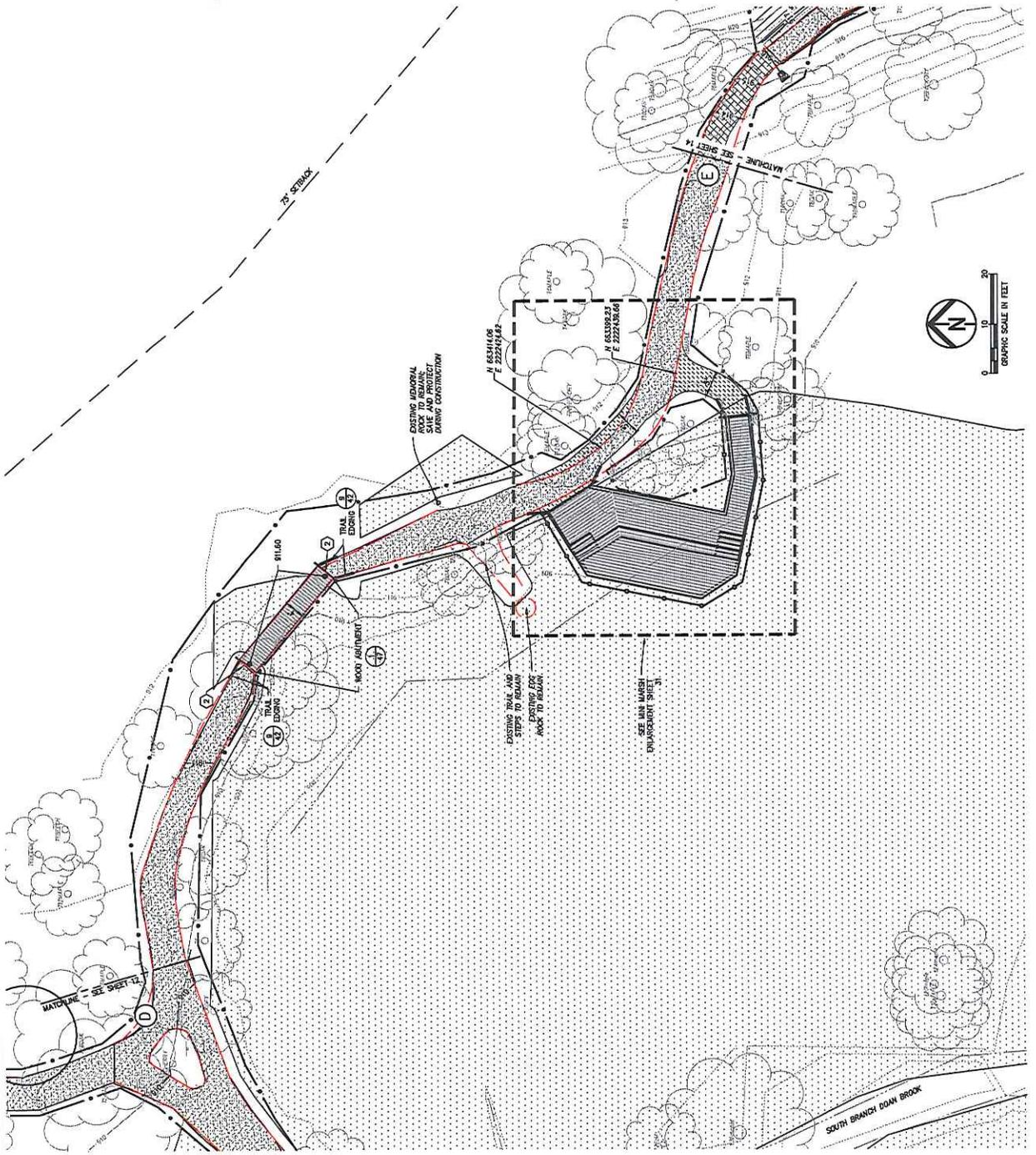
LAYOUT & GRADING NOTES:

- EXISTING TRAIL TO BE TOPRESSED WITH A MINIMUM OF 2" LIMESTONE TOPRESSING. ALL EXISTING TRAILS TO BE TOPRESSED WITH A MINIMUM OF 2" LIMESTONE TOPRESSING. ALL EXISTING TRAILS TO BE TOPRESSED WITH A MINIMUM OF 2" LIMESTONE TOPRESSING. ALL EXISTING TRAILS TO BE TOPRESSED WITH A MINIMUM OF 2" LIMESTONE TOPRESSING.
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- ALL PROPOSED AGGREGATE TRAILS TO HAVE A CROSS SLOPE MAXIMUM OF 10% AND A MINIMUM OF 2% TO DRAINAGE. ALL PROPOSED AGGREGATE TRAILS TO HAVE A CROSS SLOPE MAXIMUM OF 10% AND A MINIMUM OF 2% TO DRAINAGE.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

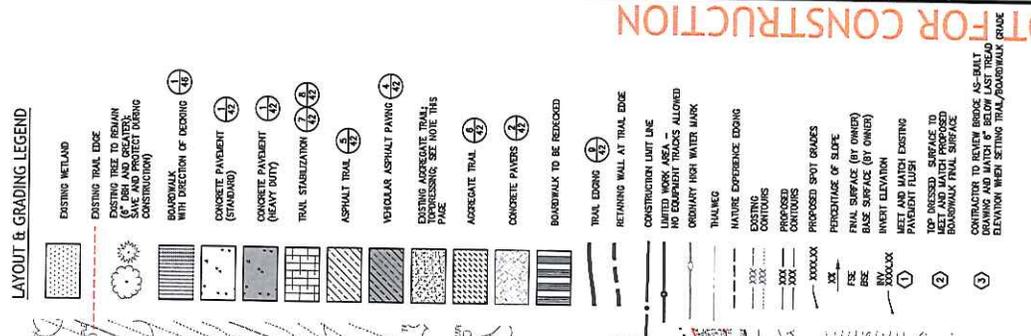
LAYOUT & GRADING LEGEND

- EXISTING METLAND
- EXISTING TRAIL EDGE
- EXISTING TREE TO REMAIN (6" DBH AND GREATER, SUBJECT TO CONSTRUCTION)
- MULTIPURPOSE WITH DIRECTION OF EDGING
- CONCRETE PAVEMENT (STANDARD)
- CONCRETE PAVEMENT (HEAVY DUTY)
- TRAIL STABILIZATION
- ASPHALT TRAIL
- VEHICULAR ASPHALT PAVING
- EXISTING AGGREGATE TRAIL, TOPRESSING, SEE NOTE THIS PAGE
- AGGREGATE TRAIL
- CONCRETE PAVERS
- BOARDWALK TO BE REDESIGNED
- TRAIL EDGING
- RETAINING WALL AT TRAIL EDGE
- CONSTRUCTION LIMIT LINE
- UNFINISHED ASPHALT PAVING, RELEASE ALLOWED
- ORDINARY HIGH WATER MARK
- TRAIL WEG
- NATIVE DIFFERENCE EDGING
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT GRADES
- PERCENTAGE OF SLOPE
- TRAIL SURFACE (BY NUMBER)
- BASE SURFACE (BY NUMBER)
- ASSET ELEVATION
- ASSET AND MATCH EDGING PAVEMENT FLUSH
- TOP DRESSED SURFACE TO MEET AND MATCH PROPOSED BOARDWALK TRAIL SURFACE
- CONTRACTOR TO REVIEW EROSION AS-BUILT DRAWING AND MATCH 6" BELOW LAST TREAD ELEVATION WHEN SETTING TRAIL/BOARDWALK GRADE

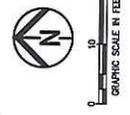
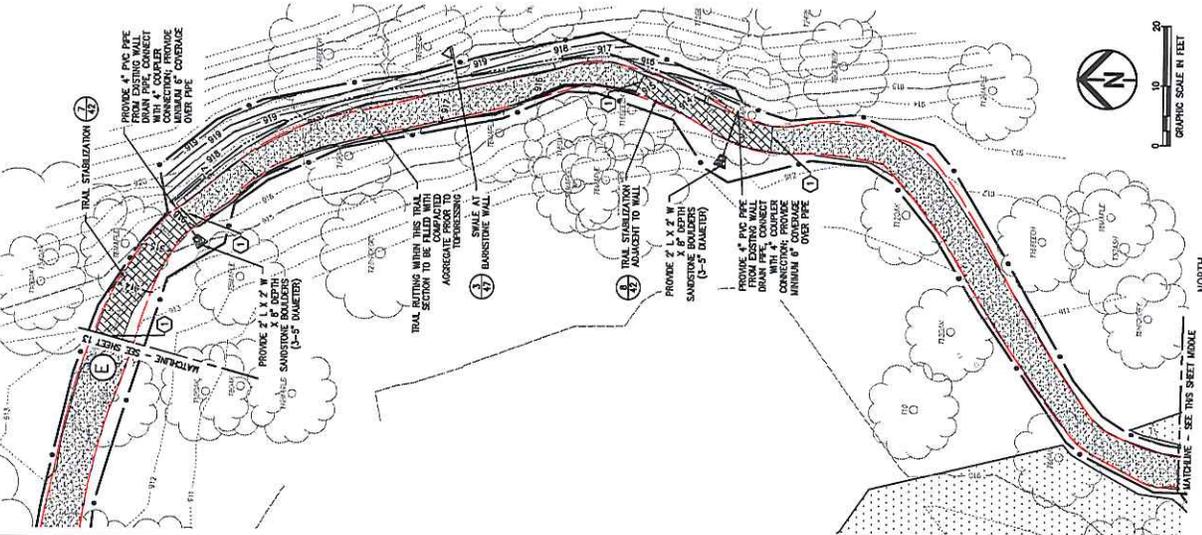
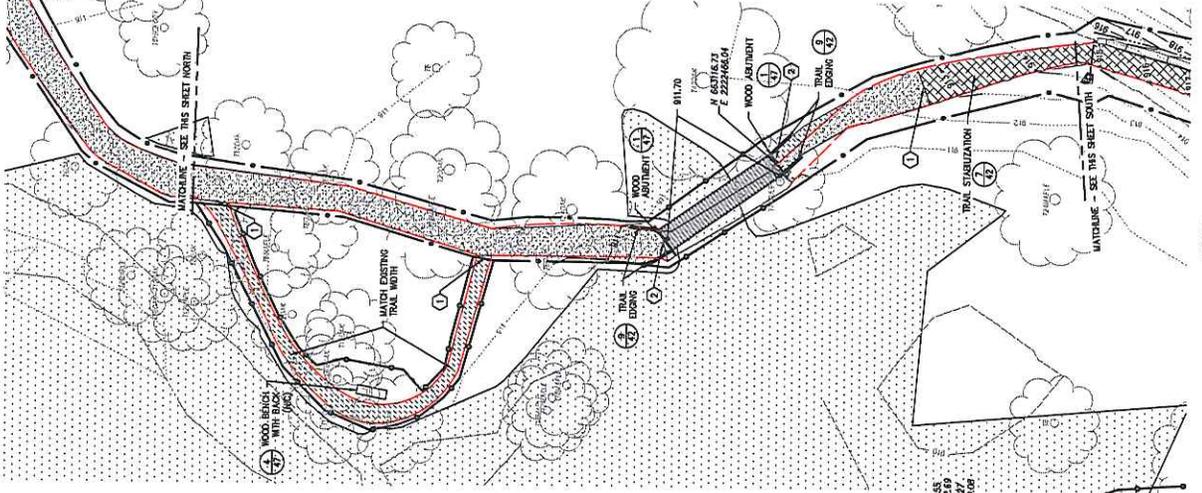
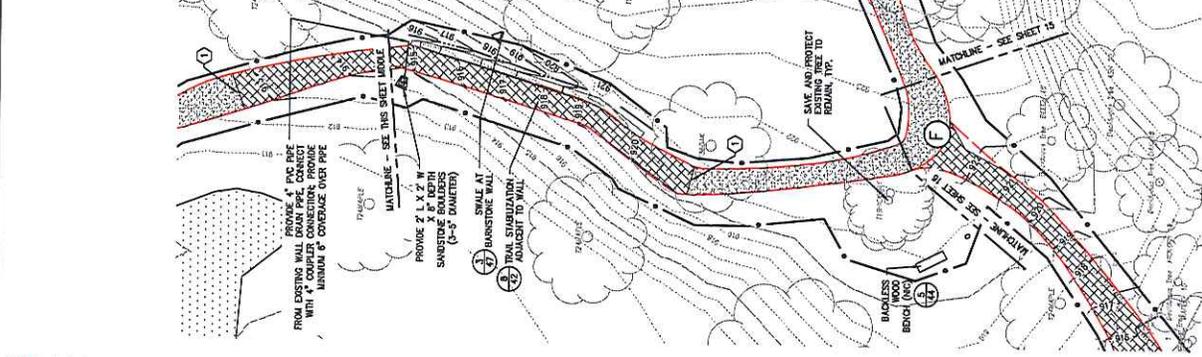
NOT FOR CONSTRUCTION



- LAYOUT & GRADING NOTES:**
- EXISTING TRAIL TO BE EXPRESSED WITH A MINIMUM OF 2" LIMESTONE SANDSTONE AND 1/4" COOT TABLE TRAIL ADDED TO THE EXISTING GRADING. SEE NOTE 10 FOR GRADING AND TRAIL CONSTRUCTION DETAILS.
 - PROVIDE DRAINAGE AS REQUIRED. COMPACT TOPDRESSING IN PLACE TO THE SURROUNDING NATURAL GRADE TRAIL WITH MINIMAL DISTURBANCE TO THE SURROUNDING NATURAL GRADE TRAIL.
 - ALL PROPOSED AGGREGATE TRAILS TO HAVE 2% CROSS SLOPE MAXIMUM TO DRAINAGE. PROVIDE 4" COMPILER CONNECTIONS TO DRAINAGE. PROVIDE MINIMUM 6" COVERAGE OVER PIPE.
 - SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.



NOT FOR CONSTRUCTION



SOUTH
 MIDDLE
 NORTH

STEARNS TRAIL
 NATURE CENTER AT SHAKER LAKES

LAYOUT & GRADING NOTES:

- EXISTING TRAIL TO BE EXPRESSED WITH A MINIMUM OF 2" BASESTONE SCREENING, #10 PER FOOT, TABLE 701.01 ADDED TO THE EXISTING CONTRACT SPECIFICATIONS. CONTRACTOR TO PROVIDE AND MAINTAIN POSITIVE DRAINAGE AS REQUIRED. GRADE TO BE MAINTAINED TO PREVENT EROSION AND TO PROTECT DURING CONSTRUCTION.
- CONTRACTOR TO INSTALL AND GRADE TRAIL WITH MINIMAL DISTURBANCE TO EXISTING VEGETATION AND TO MAINTAIN EXISTING UTILITIES. AREA OF TRAIL TO BE ABANDONED SHALL BE HAND RAISED TO SURFACE TO MATCH EXISTING GRADE FOR FUTURE CONSTRUCTION.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

LAYOUT & GRADING LEGEND

- EXISTING METAL
- EXISTING TRAIL EDGE
- EXISTING TREE TO REMAIN (OF 10% AND GREATER) SAVE AND PROTECT DURING CONSTRUCTION
- BOARDWALK WITH DIRECTION OF FLOWING
- CONCRETE PAVEMENT (OPPOSED AGGREGATE)
- CONCRETE PAVEMENT (HEAVY DUTY)
- TRAIL STABILIZATION
- ASPHALT TRAIL
- VEHICULAR ASPHALT PAVING
- EXISTING AGGREGATE TRAIL, TO BE RECONSTRUCTED, SEE NOTE THIS PAGE
- AGGREGATE TRAIL
- CONCRETE PAVERS
- BOARDWALK TO BE REDONE
- TRAIL ENDING
- RETAINING WALL AT TRAIL EDGE
- CONSTRUCTION LIMIT LINE
- LIMITED WORK AREA - NO EQUIPMENT TRACKS ALLOWED
- ORDINARY HIGH WATER MARK
- TRAILING
- NATURE EXPERIENCE LODGING
- FOUNDATIONS
- PROPOSED CONTIGUOUS
- PROPOSED SPOT GRADES
- PERCENTAGE OF SLOPE
- FINAL SURFACE (BY OWNER)
- BASE SURFACE (BY OWNER)
- INVERT ELEVATION
- MEET AND MATCH EXISTING PAVEMENT FLOOR
- UPDRESSED SURFACE TO MATCH EXISTING BOARDWALK FINAL SURFACE
- CONTRACTOR TO VERIFY GRADE AS-BUILT DRAWING AND MATCH E BELOW LAST READ ELEVATION WHEN SETTING TRAIL/BOARDWALK GRADE

NOT FOR CONSTRUCTION



REVISIONS: 1. 11/15/2011: 1. PROPOSED TRAIL GRADING AND GRADING TO BE MAINTAINED TO PREVENT EROSION AND TO PROTECT DURING CONSTRUCTION.

STEARNS TRAIL
 NATURE CENTER AT SHAKER LAKES

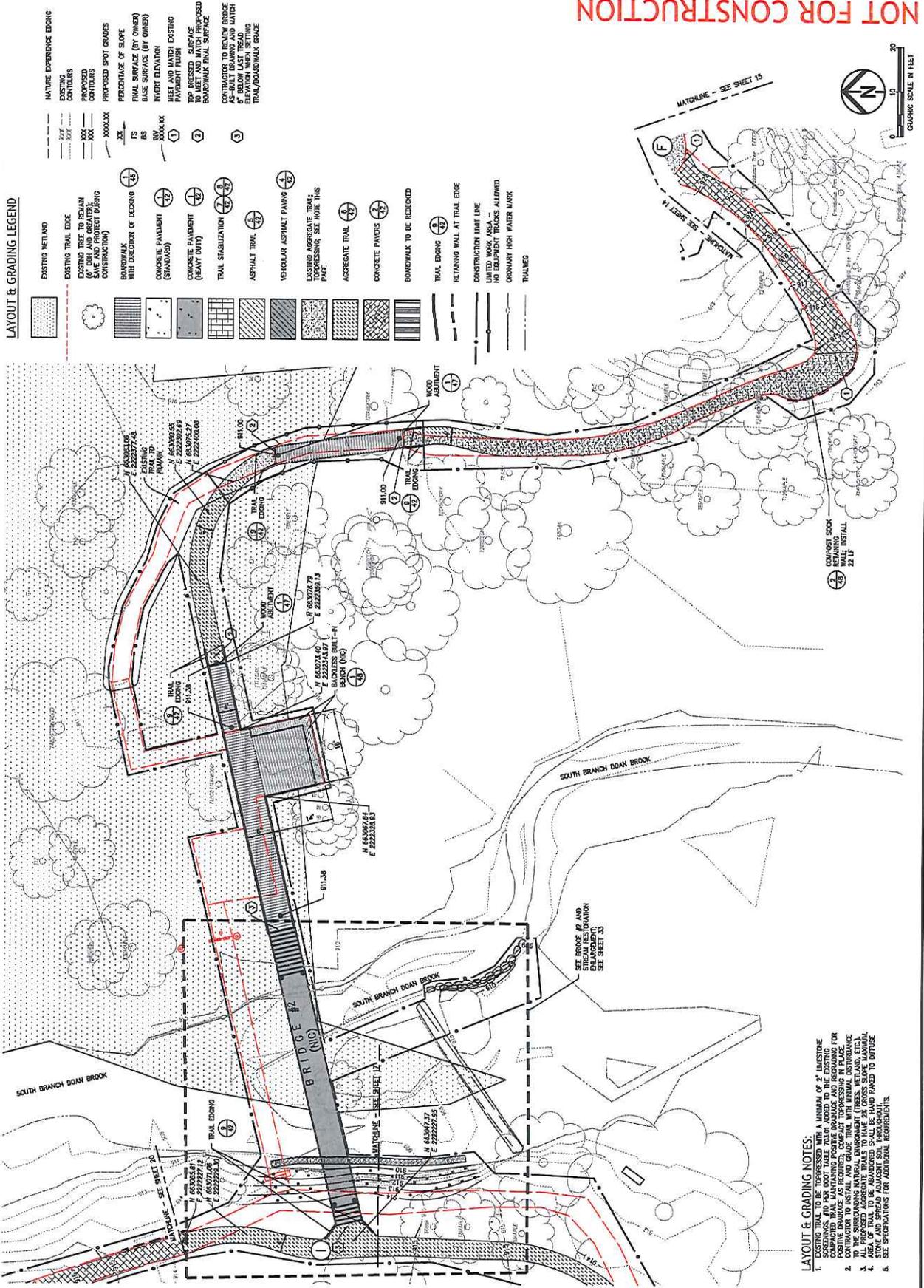
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PROJECT NO.: 18-0018-020
 DRAWN BY: RJ/JA
 CHECKED BY: FB
 DATE ISSUED: DECEMBER 20, 2019

TRAIL LAYOUT &
 GRADING F-1 (BRIDGE
 #2)

NOT FOR CONSTRUCTION



LAYOUT & GRADING LEGEND

- NATURE EXPERIENCE EDGING
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT BOUDES
- PERCENTAGE OF SLOPE
- FINAL SURFACE (BY OWNER)
- BASE SURFACE (BY OWNER)
- INVERT ELEVATION
- MEET AND MATCH EXISTING PAVEMENT FINISH
- TOP DRESSED SURFACE
- CONTRACTOR TO REVIEW BRIDGE ELEVATION WHEN SETTING TRAIL/BOARDWALK GRADE

- LAYOUT & GRADING NOTES:**
- EXISTING TRAIL TO BE DEPRESSURED WITH A MINIMUM OF 2" LIMESTONE SCREENING, AND PER 5000 TONNAGE TOLERANCE TO THE EXISTING FOR POSITIVE DRAINAGE AS REQUIRED; COMPACT TYPING SURFACE IN PLACE.
 - CONTRACTOR TO INSTALL AND GRADE TRAIL WITH MINIMAL DISTURBANCE.
 - ALL PROPOSED AGGREGATE TRAILS TO HAVE 2% CROSS SLOPE MAXIMUM.
 - TRAIL AND SPREAD TO BE ABANDONED SHALL BE HAND PAVED TO DRAINAGE.
 - SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

SEE BRIDGE #2 AND
 ENLARGEMENT
 SEE SHEET 33

SOUTH BRANCH DOAN BROOK

WOOD ADJUSTMENT

TRAIL EDGING

TRAIL EDGING

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STEARNS TRAIL
 NATURE CENTER AT SHAKER LAKES

100% CD REVIEW SET

TRAIL LAYOUT & GRADING - K

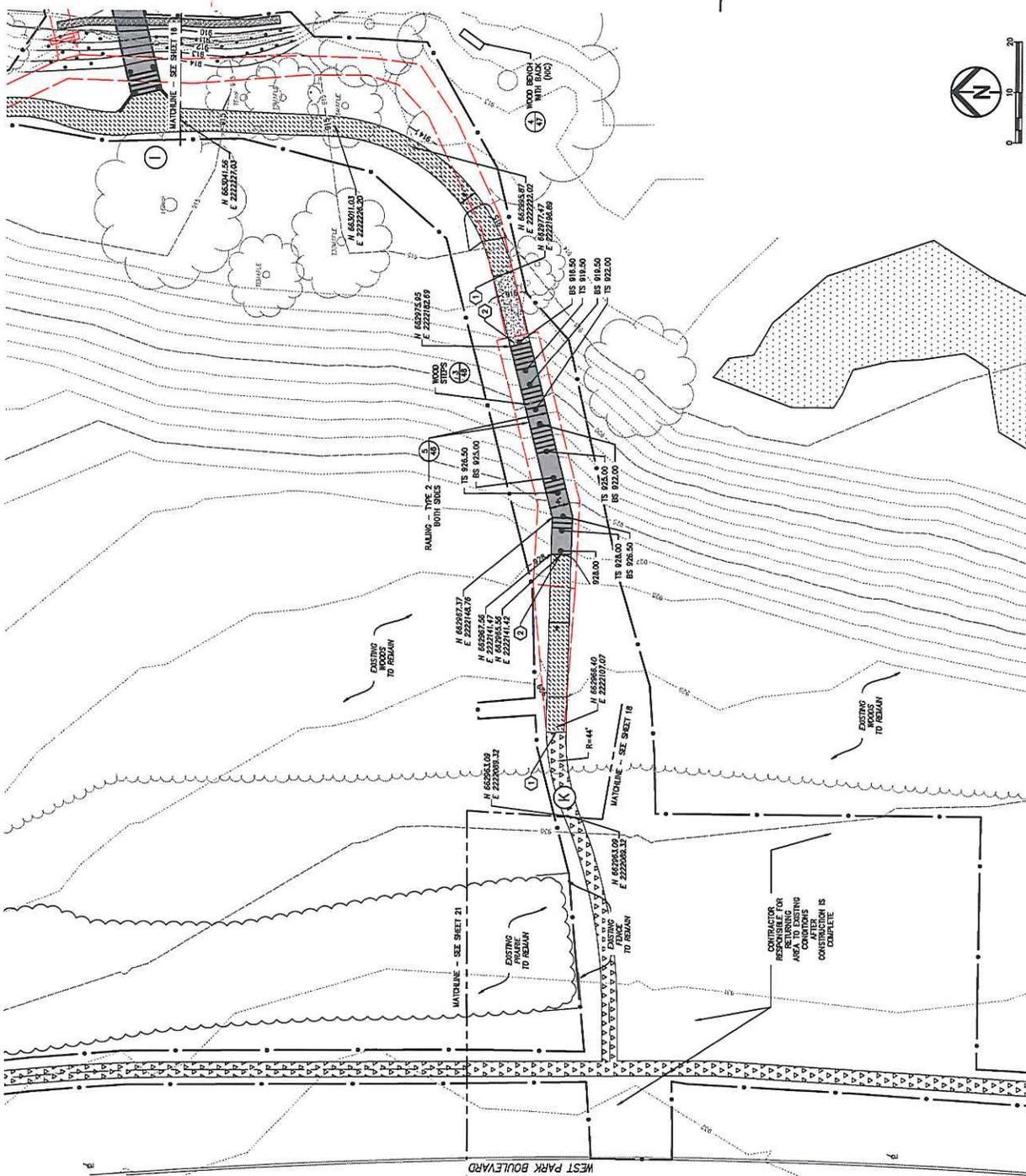
17 OF 49

NOT FOR CONSTRUCTION

- LAYOUT & GRADING NOTES:**
- EXISTING TRAIL TO BE EXPRESSED WITH A MINIMUM OF 2" UNWEAR SURFACING, 8" PER FOOT TAPER TO 0" ADDED TO THE EXISTING FOR POSITIVE DRAINAGE AS REQUIRED. CONTACT THE DESIGNER FOR POSITIVE DRAINAGE AS REQUIRED. CONTACT THE DESIGNER FOR POSITIVE DRAINAGE AS REQUIRED. CONTACT THE DESIGNER FOR POSITIVE DRAINAGE AS REQUIRED.
 - CONTRACTOR TO INSTALL AND GRADE TRAIL WITH MINIMAL DISTURBANCE TO EXISTING VEGETATION AND TO MAINTAIN EXISTING VEGETATION.
 - ALL PROPOSED ASPHALT TRAILS TO HAVE A CROSS SLOPE MAXIMUM OF 2% TO THE DRAINAGE DIRECTION.
 - AREA OF TRAIL TO BE ABANDONED SHALL BE HAND DAGED TO OUTLINE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

LAYOUT & GRADING LEGEND

	EXISTING WETLAND
	EXISTING TRAIL EDGE
	EXISTING TREE TO REMAIN (4" DBH AND GREATER) TO BE PROTECTED DURING CONSTRUCTION
	BOARDWALK WITH DIRECTION OF FLOWING
	CONCRETE PAVEMENT (LIGHT DUTY)
	CONCRETE PAVEMENT (HEAVY DUTY)
	TRAIL STABILIZATION
	ASPHALT TRAIL
	VEHICULAR ASPHALT PAVING
	EXISTING AGGREGATE TRAIL TO BE EXPRESSED, SEE NOTE THIS PAGE
	AGGREGATE TRAIL
	CONCRETE PAVERS
	BOARDWALK TO BE REDWOOD
	MATCH TRAIL - EXCAVATE TO 4" DEPTH AND INSTALL 8" DOUBLE SHIPPED AND BOND BARK MULCH (DARK BROWN IN COLOR)
	TRAIL EDGING
	RETAINING WALL AT TRAIL EDGE
	CONSTRUCTION LIMIT LINE
	LIMITED WORK AREA - NO EQUIPMENT TRACKS ALLOWED
	ORDINARY HIGH WATER MARK
	TRAIL BED
	NATURE EXPERIENCE EDGING
	PROPOSED CONTOURS
	PROPOSED CONTOURS
	PROPOSED SPOT GRADES
	PERCENTAGE OF SLOPE
	FINAL SURFACE (BY OWNER)
	BASE SURFACE (BY OWNER)
	INVERT ELEVATION
	MEET AND MATCH EXISTING PAVEMENT TAPER
	TOP DRESSING SURFACE TO BOARDWALK FINAL SURFACE
	CONTRACTOR TO REVIEW PROFILE AS-PLANNED DRAWING AND MATCH & BELOW LAST BEAD ELEVATION WHEN SETTING TRAIL/BOARDWALK GRADE



GRAPHIC SCALE IN FEET
 0 10 20

CONTRACTOR RESPONSIBLE FOR REPAIRING AND RESTORING ANY DAMAGED AREAS AFTER CONSTRUCTION IS COMPLETE.

WEST PARK BOULEVARD

**STEARNS TRAIL
 NATURE CENTER AT SHAKER LAKES**

100% CD REVIEW SET

**TRAIL LAYOUT &
 GRADING I-H**

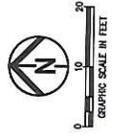
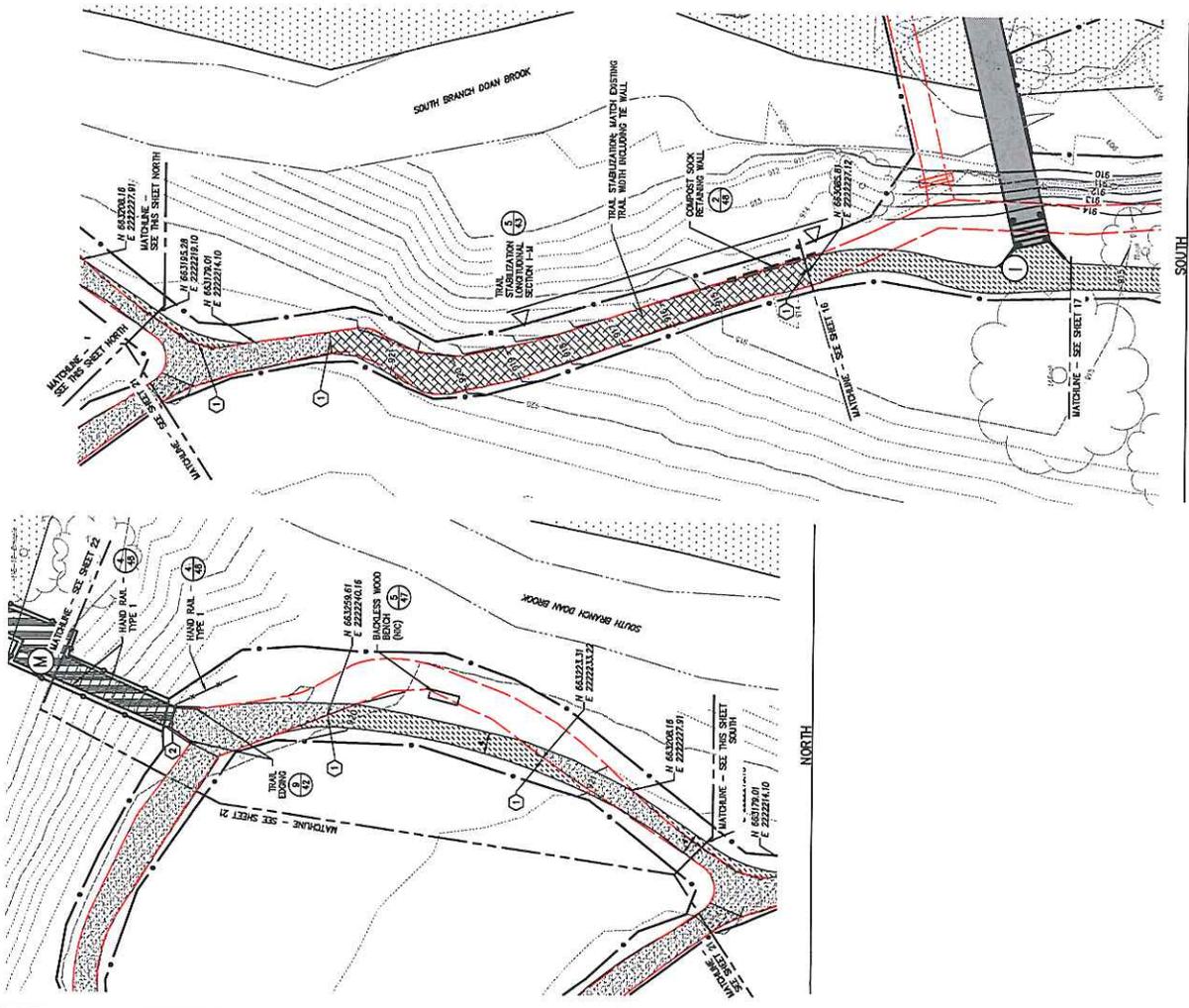
LAYOUT & GRADING NOTES:

1. SOFTENING IS TO BE EXPRESSED WITH A MINIMUM OF 2" LIMESTONE SPREADING TO BE APPLIED TO ALL EXISTING AND PROPOSED COMPACTED TRAIL, MAINTAINING POSITIVE DRAINAGE AND REPAIRING FOR PROPOSED GRADING. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE TO THE SURROUNDING NATURAL ENVIRONMENT (TREES, WETLAND, ETC.).
2. CONTRACTOR TO INSTALL AND GRADE TRAIL WITH FINISHING IN PLACE TO THE SURROUNDING NATURAL ENVIRONMENT (TREES, WETLAND, ETC.).
3. AREA OF TRAIL TO BE ADVANCED SHALL BE HAND PLANNED TO OPTIMIZE SOIL AND SPREAD ADJACENT SOIL THROUGHOUT.
4. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

LAYOUT & GRADING LEGEND

- EXISTING WETLAND
- EXISTING TRAIL EDGE
- EXISTING TREE TO REMAIN (5" DBH AND GREATER) TO BE PROTECTED DURING CONSTRUCTION
- BOARDWALK WITH DIRECTION OF BOARDING
- CONCRETE PAVEMENT (HANDRAIL)
- CONCRETE PAVEMENT (HEAVY DUTY)
- TRAIL STABILIZATION
- ASPHALT TRAIL
- VEHICULAR ASPHALT PAVING
- EXISTING AGGREGATE TRAIL TO BE REFINISHED AND TO BE TOPRESSED. SEE NOTE THIS PAGE
- AGGREGATE TRAIL
- CONCRETE PAVERS
- BOARDWALK TO BE RECHECKED
- TRAIL EDGING
- RETAINING WALL AT TRAIL EDGE
- CONSTRUCTION LIMIT LINE
- LIMITED WORK AREA - NO TRAFFIC TRUCKS ALLOWED
- ORDINARY HIGH WATER MARK
- THANKED
- NATURE EXPERIENCE EDGING
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT GRADES
- PERCENTAGE OF SLOPE
- TRAIL SURFACE (BY OWNER)
- TRAIL SURFACE (BY OWNER)
- INVERT ELEVATION
- PAVEMENT FINISH
- TOP FINISHED SURFACE TO MEET AND MATCH PROPOSED BOARDWALK TRAIL SURFACE
- CONTRACTOR TO REVIEW ROOF AS-BUILT DRAWING AND MATCH 6" BELOW LAST TREAD ELEVATION WHEN SETTING TRAIL/BOARDWALK GRADE

NOT FOR CONSTRUCTION



DATE: 11-01-2019
 REVISIONS:
 PROJECT NO.: 11-0019-002
 DRAWN BY: BJZ/JN
 CHECKED BY: JPB
 DATE CODE: DECEMBER 20, 2019

STEARNS TRAIL
 NATURE CENTER AT SHAKER LAKES

100% CD REVIEW SET

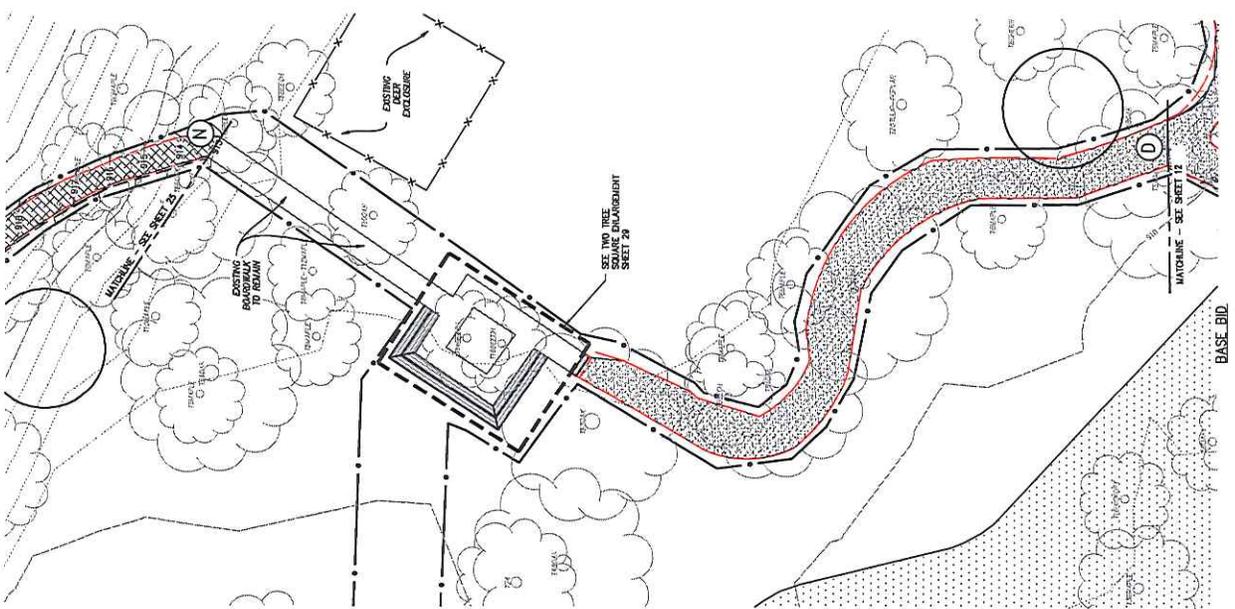
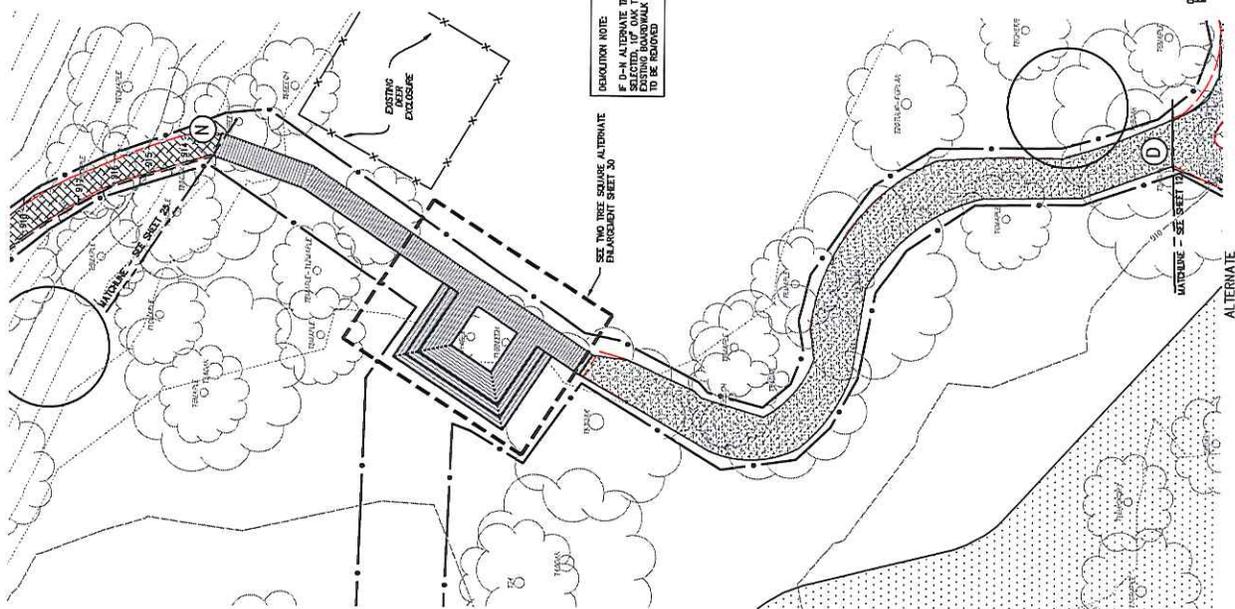
TRAIL LAYOUT & GRADING D-N

- LAYOUT & GRADING NOTES:**
- EXISTING TRAIL TO BE EXPRESSED WITH A MINIMUM OF 2" LIMESTONE SCREENING. NO PER FOOT HALF DOLLAR ADDED TO THE EXISTING CONTRACTOR TO INSTALL AND GRADE TRAIL WITH MINIMAL DISTURBANCE TO EXISTING VEGETATION. CONTRACTOR TO BE RESPONSIBLE FOR POSITIVE DRAINAGE AS REQUIRED, COMPACT TRODDING IN PLACE.
 - ALL PROPOSED ASPHALT TRAILS TO HAVE 2" CROSS SLOPE MAXIMUM. SLOPE TO BE IN THE DIRECTION OF DRAINAGE. TRAIL TO BE PAVED TO DIFFUSE STRESS. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

LAYOUT & GRADING LEGEND

	EXISTING WETLAND
	EXISTING TRAIL EDGE
	EXISTING TREE TO REMAIN (6 DBH AND GREATER) SAVE AND PROTECT DURING CONSTRUCTION
	BOARDWALK WITH DIRECTION OF EDDING
	CONCRETE PAVEMENT (STANDARDS)
	CONCRETE PAVEMENT (HEAVY DUTY)
	TRAIL STABILIZATION
	ASPHALT TRAIL
	VEHICULAR ASPHALT PAVING
	EXISTING AGGREGATE TRAIL (SEE NOTES FOR THIS TYPE)
	AGGREGATE TRAIL
	CONCRETE PAVERS
	BOARDWALK TO BE REDWOOD
	TRAIL EDDING
	RETAINING WALL AT TRAIL EDGE
	CONSTRUCTION LIMIT LINE
	LIMITED WORK AREA - NO EQUIPMENT TRACKS ALLOWED
	ORDINARY FOOT WATER MARK
	THAWED
	HANDICAPPED EDDING
	EXISTING CONTOURS
	PROPOSED CONTOURS
	PROPOSED SPOT GRADES
	PERCENTAGE OF SLOPE
	FINAL SURFACE (BY OWNER)
	BASE SURFACE (BY OWNER)
	INVERT ELEVATION
	MEET AND MATCH EXISTING PAVEMENT TUSH
	TOP DRESSED SURFACE TO BOARDWALK FINAL SURFACE
	CONSTRUCTION TO REMAIN BRIDGE AS-BUILT
	ELEVATION MEET SETTING TRAIL/BOARDWALK GRADE

NOT FOR CONSTRUCTION



DEMOLITION NOTE:
 IF D-N ALTERNATE TRAIL SECTION SELECTED, 1" OAK TREE AND ALL OTHER TREES IN THIS AREA TO BE DEMOLISHED

SEE TWO TREE SQUARE ALTERNATE ENLARGEMENT SHEET 20

SEE TWO TREE SQUARE ENLARGEMENT SHEET 20

BASE BID

DATE: 11/15/2011
 PROJECT NO.: 15-0012400
 DRAWN BY: BJJ/JN
 CHECKED BY: JLB
 DATE PLOTTED: DECEMBER 23, 2011

STEARNS TRAIL
NATURE CENTER AT SHAKER LAKES

100% CD REVIEW SET

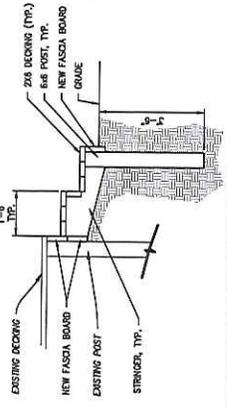
DATE:	
REVISIONS:	
PROJECT NO.:	15-0016-000
DRAWN BY:	BJJ/AL
CHECKED BY:	RS
DATE ENDED:	DECEMBER 23, 2012

TWO TREE SQUARE ENLARGEMENT

NOT FOR CONSTRUCTION

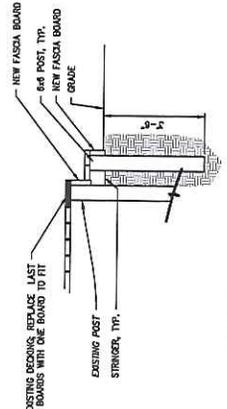
LAYOUT & GRADING LEGEND

	EXISTING WETLAND
	EXISTING TRAIL EDGE
	EXISTING TREE TO REMAIN (1" DBH AND GREATER) (DO NOT DISTURB DURING CONSTRUCTION)
	BOARDWALK WITH DIRECTION OF DECKING
	CONCRETE PAVEMENT (FINISHED)
	CONCRETE PAVEMENT (READY TO POUR)
	TRAIL STABILIZATION
	ASPHALT TRAIL
	VEHICULAR ASPHALT PAVING
	EXISTING AGGREGATE TRAIL (TOPPING/RESURFACING, SEE NOTE THIS PAGE)
	AGGREGATE TRAIL
	CONCRETE PAVERS
	BOARDWALK TO BE REROUTED
	TRAIL EDGING
	RETAINING WALL AT TRAIL EDGE
	CONSTRUCTION LIMIT LINE
	LIMITED MOWUP AREA (MOWING ALLOWED ONLY AT HIGH WATER MARK)
	THINNED
	NATURE EXPERIENCE EDGING
	EXISTING CONTOURS
	PROPOSED CONTOURS
	PROPOSED SPOT GRADES
	PERCENTAGE OF SLOPE
	MEET AND MATCH EXISTING PAVEMENT FLUSH
	TOP DRESSED SURFACE
	MEET AND MATCH PROPOSED BOARDWALK FINAL SURFACE
	CONTRACTOR TO REVIEW BRIDGE
	EXISTING FASMA BOARD
	NEW FASMA BOARD
	EXISTING POST
	NEW POST
	EXISTING STRINGER
	NEW STRINGER



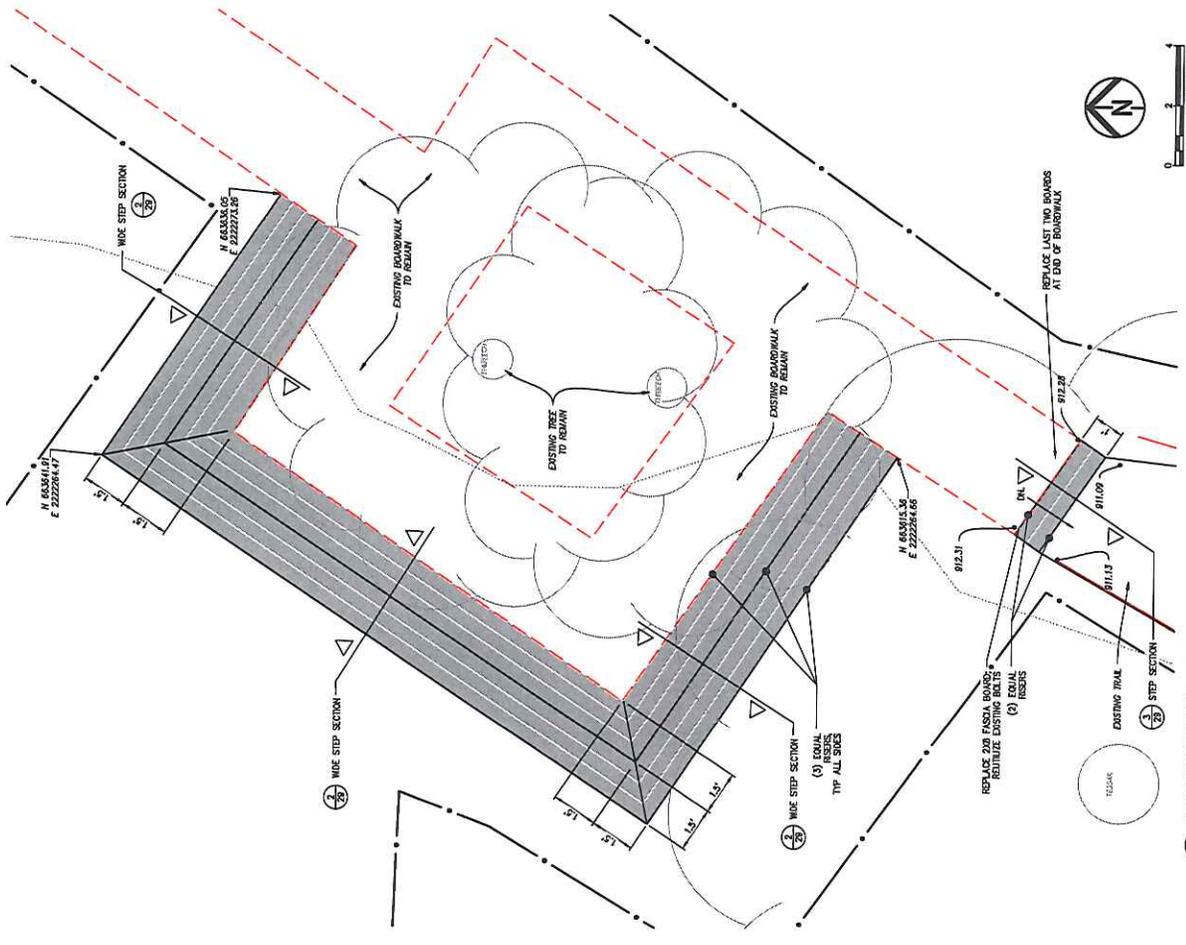
2 WIDE STEP SECTION
NOT TO SCALE

NOTES:
1. STRINGERS SHALL BE NO GREATER THAN 16" O.C. WITH ADDITIONAL
2. ATTACH STRINGER TO POSTS WITH HOT DIPPED GALVANIZED STRINGER
3. BETWEEN STRINGERS PROVIDE CROSS MEMBER JOISTS AT MINIMUM 16" O.C.



3 STEP SECTION
NOT TO SCALE

NOTES:
1. STRINGERS SHALL BE NO GREATER THAN 16" O.C. WITH ADDITIONAL
2. STRINGERS AT ENDS AND CORNERS
3. BETWEEN STRINGER TO POSTS WITH HOT DIPPED GALVANIZED STRINGER
4. BETWEEN STRINGERS PROVIDE CROSS MEMBER JOISTS AT MINIMUM 16" O.C.



**STEARNS TRAIL
 NATURE CENTER AT SHAKER LAKES**

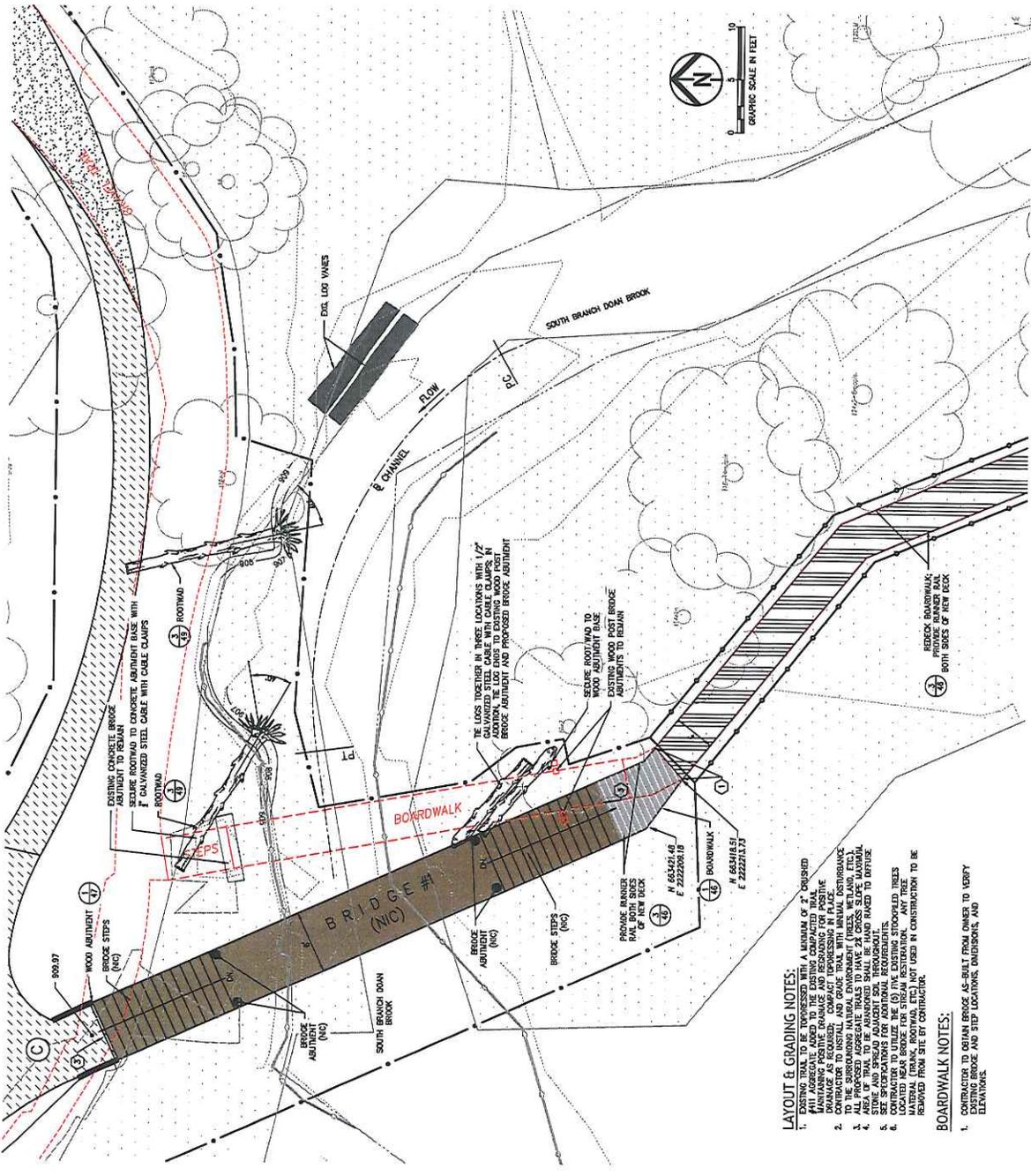
100% CD REVIEW SET

NOT FOR CONSTRUCTION

**BRIDGE #1 STREAM
 RESTORATION
 LAYOUT
 ENLARGEMENT**

LAYOUT & GRADING LEGEND

	EXISTING METALWAD
	EXISTING TRAIL EDGE
	EXISTING TREE TO REMAIN (5' DBH AND GREATER). SAVE AND PROTECT DURING CONSTRUCTION
	BOARDWALK WITH DIRECTION OF DECKING
	CONCRETE PAVEMENT (STANDARD)
	CONCRETE PAVEMENT (HEAVY DUTY)
	TRAIL STABILIZATION
	ASPHALT TRAIL
	VEHICULAR ASPHALT PAVING
	EXISTING AGGREGATE TRAIL, PAVING, OR ASPHALT PAVING PRESERVE SEE NOTE THIS
	AGGREGATE TRAIL
	CONCRETE PAVES
	BOARDWALK TO BE REDUCED
	TRAIL EDGING
	RETAINING WALL AT TRAIL EDGE
	CONSTRUCTION LIMIT LINE LIMITED WORK AREA - NO EQUIPMENT TRACKS ALLOWED ORDINARY HIGH WATER MARK
	THALWEG
	NATURE EXPOSURE EDGING
	EXISTING DOTTED PROPOSED CONTIGUOUS
	PROPOSED SPOT GRADES
	PERCENTAGE OF SLOPE
	FINAL SURFACE (BY OWNER)
	BASE SURFACE (BY OWNER)
	INVERT ELEVATION
	MEET AND MATCH EXISTING PAVEMENT FLUSH
	TOP DRESSED SURFACE TO MEET FINAL SURFACE PROPOSED BOARDWALK
	CONTRACTOR TO REVIEW BRIDGE AS-BUILT DRAWING AND MATCH & BELOW LAST TRAIL ELEVATION WHEN SETTING TRAIL/BOARDWALK GRADE



LAYOUT & GRADING NOTES:

- EXISTING TRAIL TO BE WITH A MINIMUM OF 7' WIDENED WITH AGGREGATE ADDED TO THE EXISTING COMPACTED TRAIL. CONTRACTOR TO VERIFY BRIDGE AS-BUILT TO REMAIN AND POSITIVE DRAINAGE TO INSTALL AND GRADE TRAIL WITH MINIMAL DISTURBANCE.
- ALL PROPOSED BOARDWALKS SHALL BE CONSTRUCTED WITH 2" X 4" TREATED LUGS AND TRAIL STABILIZATION SHALL BE CONSTRUCTED WITH 2" X 4" TREATED LUGS. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR TO UTILIZE THE (S) TO THE EXISTING STOODLEED TREES TO BE PRESERVED AND TO MATCH THE EXISTING TRAIL/BOARDWALK GRADE.
- CONTRACTOR TO VERIFY BRIDGE AS-BUILT TO REMAIN AND POSITIVE DRAINAGE TO INSTALL AND GRADE TRAIL WITH MINIMAL DISTURBANCE.
- CONTRACTOR TO VERIFY BRIDGE AS-BUILT TO REMAIN AND POSITIVE DRAINAGE TO INSTALL AND GRADE TRAIL WITH MINIMAL DISTURBANCE.

BOARDWALK NOTES:

- CONTRACTOR TO OBTAIN BRIDGE AS-BUILT FROM OWNER TO VERIFY BRIDGE AS-BUILT TO REMAIN AND POSITIVE DRAINAGE TO INSTALL AND GRADE TRAIL WITH MINIMAL DISTURBANCE.

